



Burien
WASHINGTON

CITY COUNCIL MEETING AGENDA

January 23, 2012

7:00 p.m.

400 SW 152nd Street, 1st Floor
Burien, Washington 98166

PAGE NO.

1. CALL TO ORDER	2. PLEDGE OF ALLEGIANCE	3. ROLL CALL	
4. AGENDA CONFIRMATION			
5. PUBLIC COMMENT	Individuals will please limit their comments to three minutes, and groups to five minutes.		
6. CORRESPONDENCE FOR THE RECORD	a. Email Dated December 8, 2011, from Astha Tada Regarding White Center and Boulevard Park Libraries.		3.
	b. Email Dated December 17, 2011, from Scott Schaefer, B-Town Blog, Regarding Burien Based Internet Radio Station.		7.
	c. Letter Dated December 20, 2011, from Randy I. Dorn, State Superintendent of Public Instruction, Regarding Puget Sound Skills Center's (PSSC) Major Capital Project Campaign.		11.
	d. Letter Dated December 20, 2011, from Melessa Rogers, Treasurer for Neighbors of Seahurst Park, Regarding Small Group Membership for the Shoreline Master Plan.		13.
	e. Letter Dated December 21, 2011, from Barbara Dobkin, President of the North Highline Unincorporated Area Council, Regarding North Highline "Annexation.		15.
	f. Email Dated December 21, 2011, from Linda Plein Regarding Property Values of Burien.		17.
	g. Email Received December 22, 2011, from John and Linda Poitras Regarding Less Revenues Forecast for Area Y by King County.		19.
	h. Email Dated December 28, 2011, from T. M. Sell, Professor of Political Economy and Journalism at Highline College, Regarding Research Projects.		23.
	i. Email Dated December 29, 2011, from John C. Cochran, Architect, Regarding Annexation of North Highline.		25.
	j. Letter Dated December 30, 2011, from Dave Hutchinson, President SCA Board of Directors, Regarding Committee Appointment.		27.

COUNCILMEMBERS

Brian Bennett, Mayor	Rose Clark, Deputy Mayor	Jack Block, Jr.
Bob Edgar	Lucy Krakowiak	Gerald F. Robison
	Joan McGilton	

CITY COUNCIL MEETING AGENDA

January 23, 2012

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6. CORRESPONDENCE FOR THE RECORD (cont'd.)	k. Letter Dated January 4, 2012, from Harold Moniz, Senior Planner for CollinsWoerman, Regarding Community Development Staff.	29.
7. CONSENT AGENDA	a. Approval of Vouchers: Numbers 30520 - 30644 in the Amounts of \$289,033.32.	31.
	b. Approval of Minutes: Council Meeting, January 9, 2012.	49.
8. BUSINESS AGENDA	a. Presentation and Discussion on the Parks, Recreation and Open Space (PROS) Plan.	53.
	b. Review of Hearing Examiner's Findings, Conclusions and Recommendation on a Type 3 Land Use Review for the Redevelopment of Fire Station No. 29 (135 South Normandy Road).	63.
	c. Review of Proposed Council Agenda Schedule.	159.
	d. City Business.	163.
9. COUNCIL REPORTS		
10. ADJOURNMENT		

Lisa Clausen

From: Public Council Inbox
Sent: Thursday, December 08, 2011 3:49 PM
To: 'Astha Tada'
Subject: RE: Happy Holidays from Highline Schools Foundation

Thank you for your message to the Burien City Council. It will be forwarded to the Councilmembers because the agenda materials for the next Council meeting are already finalized. Your message will be included in the Correspondence for the Record for a future City Council meeting.

L. Clausen
City Manager's Office

From: Astha Tada [mailto:ratcity@earthlink.net]
Sent: Thursday, December 08, 2011 1:48 PM
To: kcexec@kingcounty.gov; joe.mcdermott@kingcounty.gov; Public Council Inbox; Barbara Dobkin; Balahadia, Aileen
Cc: Levine, Rachael and Phillip
Subject: Fwd: Happy Holidays from Highline Schools Foundation

At White Center Library Guild President Rachael Levine's request, I am forwarding my response to the Highline Schools for Excellence Foundation holiday note recently sent to me.

Let's continue the fight to keep the White Center and Boulevard Park libraries open. It would be one of the best holiday gifts we can give to our communities.

My best to all and thank you for doing your part to improve and serve our citizens.....Astha Tada

Begin forwarded message:

From: P Levine <levinepr@comcast.net>
Date: December 8, 2011 11:58:37 AM PST
To: Astha Tada <ratcity@earthlink.net>
Subject: Re: Happy Holidays from Highline Schools Foundation

Astha,
Please forward this email to Executive Dow Constantine and Councilmember Joe McDermott. They also need these facts.

While you are "forwarding" information, please forward it to the Burien City Council and the NHUAC. Apparently, the KCLS Board only pays attention to our elected officials, "as a courtesy".

You are doing some great work, that needed to be done before the Holidays. Blessings on you!
Rachael

On Dec 8, 2011, at 11:33 AM, Astha Tada wrote:

On Monday, December 5, 2011, i sent an e-mail to the leaders of the Highline School District seeking help for the White Center and Boulevard communities' effort to prevent their two King County libraries from closing.

CFTR; 01/23/12

More students qualified for free/reduced lunch at Mount View (86.2%) and White Center (87.1%) elementary schools in 2011 than in 2010. At Cascade Middle School the percentage was 83.6 %. This is a much higher percentage than the 69% overall district statistic you quoted in this holiday message. For them their community library is one of the only places to access professional library help, computers and other resources. Closing their community library is cutting off an essential resource for school success and educational excellence.

I am also asking for your support in persuading the King County Library System to keep our community libraries open and improve them for our highest need students.

Peace and aloha.....Astha Tada

I am forwarding this e-mail I sent to Interim Superintendent Alan Spicciati and other district leaders involved with our students:

The White Center and Boulevard Park communities have been in a prolonged battle with the King County Library System to prevent the closure of their community libraries. The White Center Library Guild, the North Highline Unincorporated Area Council and the White Center Community Development Association have been especially active in supporting this cause. They have been at the Board of Trustee meetings in Issaquah testifying about the harmful effects that closing these two vital resources would be for our communities. If you go to the *White Center Now* and *Burien Blog*, you will see that the battle is now including very angry Burien Council members who are extremely unhappy with the one-sided decisions made by these appointed library officials.

About a year ago I learned of this struggle and decided to help the White Center Library Guild headed by President Rachael Levine. Guild members have been fighting this battle for years ever since a bond to expand the White Center Library and improve the Boulevard Park Library was unanimously passed by the citizens in 2004. For 12 years I worked with Cascade Middle School students as their school librarian and used the White Center Library as a strong ally in assisting my students to succeed in school. They would walk to this safe haven and find helpful staff, study spaces, computers and other needed resources absent from their homes. Many are now responsible citizens who pay taxes and give back to their communities. Today students continue to line up waiting to use the limited number of computers in the crowded library facility. It has been 7 years since the bond was passed!

Even after countering the King County Library System's slanted survey of 800 favoring closure with a 2000+ petition* and numerous testimonies from community/political leaders and others, the King County Library System Board of Trustees and Director Bill Ptacek continue to blatantly ignore our needs and want to build a consolidated library too far away for our students to walk.

The Mount View, White Center, Cascade and three Evergreen High staffs have assisted in different ways. They realize how closure will negatively impact their students' learning progress. I want to recognize Joanne Glasgöw, Evergreen's librarian, and Dawn Lindgren, Cascade's librarian, for their extra effort in helping with this cause.

I am asking the leaders of the Highline District to join us and tell the King County Library System leaders that closing libraries that serve high poverty students is unacceptable! Public libraries exist in a democracy to equalize opportunity!

Respectfully,

Astha Tada

Community volunteer

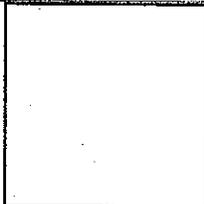
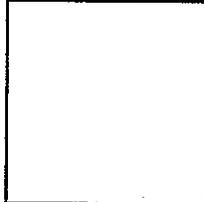
Former Cascade Middle School librarian-I retired in 2003 and volunteer at the Cascade Culture Club, a valuable after school program in which students learn to appreciate diversity in its many aspects and participate in projects that assist others.or
2nd Vice-President of Beta Beta Chapter of Delta Kappa Gamma Society International—a women's world professional organization focused on educational excellence.

*Many students signed this petition and learned one way citizens can speak up.

On Dec 6, 2011, at 10:06 AM, Highline Schools Foundation for Excellence wrote:

Having trouble viewing this email? [Click here](#)

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During this Season of Giving - Celebrate Highline School District Students and Teachers!

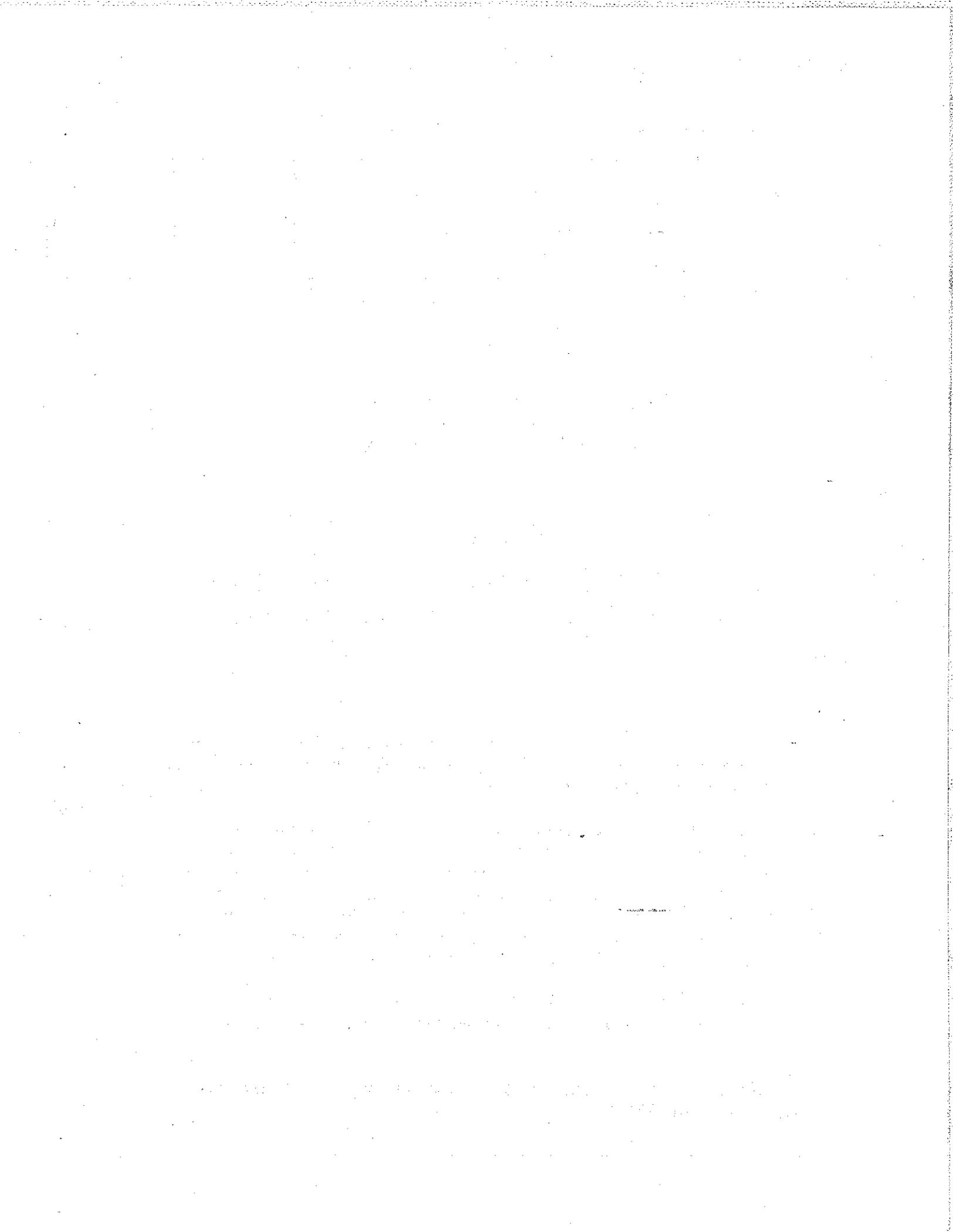
Dear Astha,

During this holiday season the Foundation would like to thank **everyone** who has given their time, funds and energy to help all students and teachers in the Highline School District.

We have almost 18,000 students in our district: 69% receive free and reduced lunch and about 500 are homeless. A surprising number of students can't afford the \$30 fee it takes to participate in sports, or rent an instrument for their music class. **Our need is great** ... and we understand that you will receive a lot of requests this month for donations, but we rely on your generosity to help fund the many programs that help our teachers and students succeed in these hard economic times.

Below you will find **three** different ways how you can help our students this season. Please take a moment and read through each ... every little bit helps!

Thank YOU for being such wonderful community supporters, Foundation advocates, and friends!



Lisa Clausen

From: Scott Schaefer [editor@b-townblog.com]
Sent: Saturday, December 17, 2011 10:33 AM
To: Public Council Inbox
Subject: COMING SOON: A Burien-based Internet Radio Station

Dear Honorable Councilmembers -

Enclosed please find a press release announcing our new Burien-based Internet Radio Station.

We are looking forward to providing a new media outlet that will feature local musicians, artists, poets, politicians, business people, regular people, historians, poets, comedians and others, starting sometime in the early part of 2012.

With that said, please help us by spreading the word to assist us in discovering local musicians and others who might be interested in being featured on our station, which will be tied in closely with The B-Town Blog (<http://www.b-townblog.com>).

We're also looking for locally-based show ideas and on-air talent.

Anyone interested in getting their work exposed on B-Town Blog Radio is asked to email editor@b-townblog.com.

Thanks,
Scott Schaefer
Founder/Publisher/Editor

=====

South King Media, parent company of six local blogs (including The B-Town Blog),

announces its latest groundbreaking feature – an Internet Radio Station!

BURIEN, WA – South King Media, the parent company of six local blogs, including The B-Town (Burien) Blog (<http://www.b-townblog.com>), announced at its annual Advertiser and Reader Appreciation Holiday Party Wednesday night (Dec. 14) that it will roll out something no other local blog in the northwest has – an Internet Radio Station.

“We’re extremely excited to be the first local blog in the region to offer this feature,” said Founder/Publisher Scott Schaefer. “After four years of growing into what the Society of Professional Journalists honored as ‘Best Hyperlocal Website’ in the northwest, we think this will be a great new addition.”

CFTR: 01/23/12

Initially focused on local music, interviews and live recordings for flagship site The B-Town Blog, eventually a different radio station will be developed for each of South King Media's five other blogs, including Des Moines, White Center, Normandy Park, SeaTac and Tukwila.

Each station will feature local indie music, news from the blogs, event listings, weekly shows, Journalist Roundtable discussions, free Public Service Announcements for local non-profits, original content like a weekly Open Mic and much more; and eventually – live streaming from local events.

In addition to being a former journalist, Schaefer won three National Emmy Awards for Writing on the hit edutainment series 'Bill Nye the Science Guy' for PBS/Disney. He has over 25 years' experience in media, including six years in Hollywood, and two years as Music Director for KEWC, his college radio station at Eastern Washington University.

"One of my biggest joys during my college years was programming and hosting original radio shows," Schaefer said. "And now I can't wait to get back on the air and entertain and inform, only from a truly local perspective."

B-Town Blog Radio will be the first Burien-based entertaining radio station since KQIN, once located at 800 AM, which went on the air in October, 1970. The City of Burien currently operates a low-watt informational station at 540 AM, but that can't be heard more than a few blocks away.

"Terrestrial radio is going the way of newspapers and dinosaurs," Schaefer added. "Since I started The B-Town Blog in 2007 I have believed that the internet is the future for all media, and I think that within just a few years most of us will even be receiving wi-fi in our cars."

Schaefer bases his radio predictions on a September 2011 study by iSuppli.com, which states that "sales of cars with Internet radio integrated into their head unit will soar to 24 million units in 2018, up from 168,000 in 2010" – a +14,186 percent increase.

"Of course, the true measure of any successful media is the content, and we're totally committed to delivering great original radio programming 24/7," Schaefer said. "And we're also looking for local bands, on-air hosts, show ideas, Sales Reps and more."

Schaefer hopes to premiere the station sometime in January, 2012, so stay tuned...

For more information on South King Media, visit <http://www.southkingmedia.com>.

CONTACT:

Scott Schaefer
Founder/Publisher/Editor

• <http://www.southkingmedia.com>

- <http://www.b-townblog.com> ("Best Hyperlocal Website" – Society of Professional Journalists)
- <http://www.waterlandblog.com>
- <http://www.whitecenterblog.com>
- <http://www.normandyparkblog.com>
- <http://www.seatacblog.com>
- <http://www.tukwilablog.com>

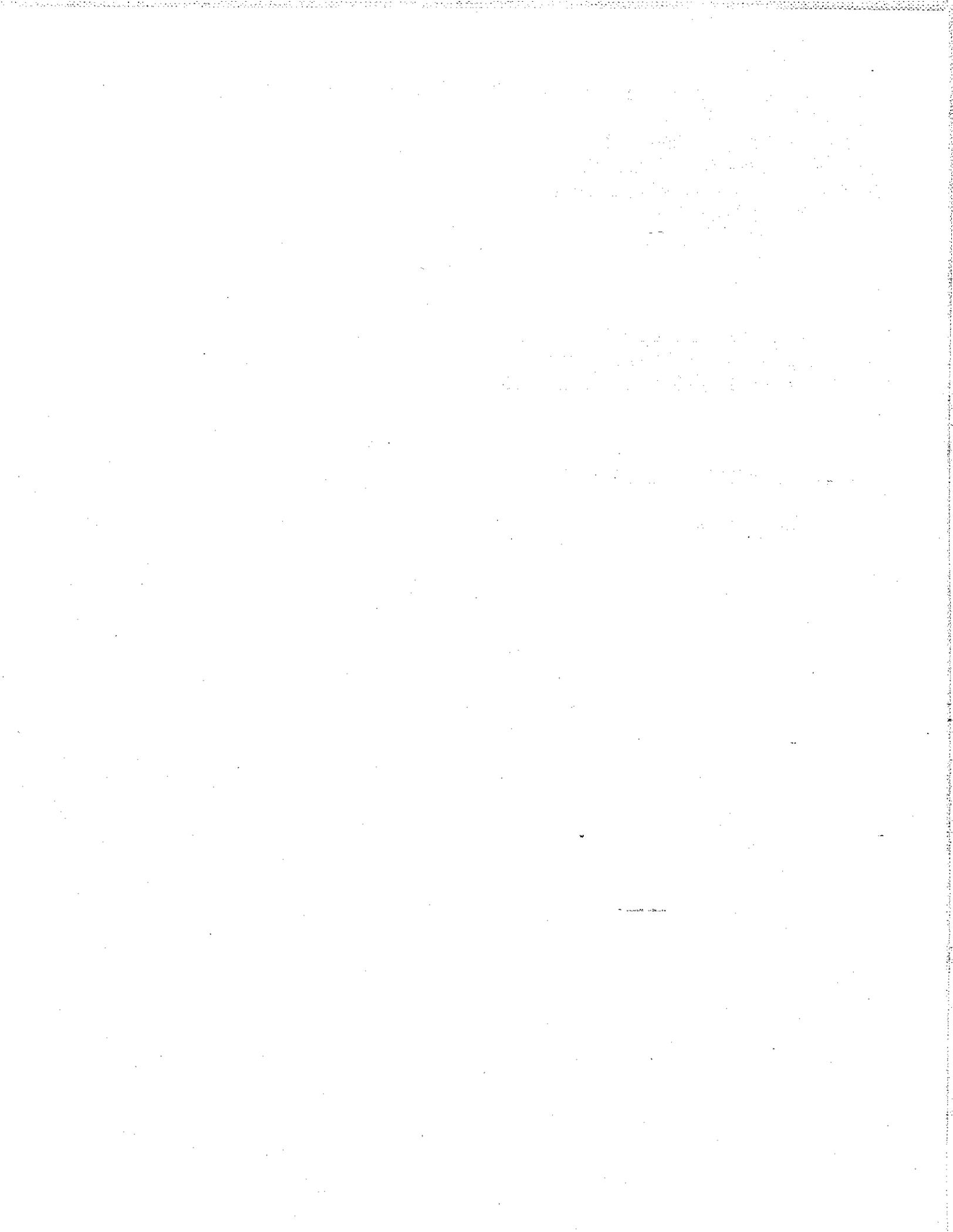
Facebook:

- <http://www.facebook.com/scottschaefer>
- <http://www.facebook.com/btownblog>
- <http://www.facebook.com/southkingmedia>

Twitter:

- <http://www.twitter.com/btownblog>

Office: (206) 248-2565





SUPERINTENDENT OF PUBLIC INSTRUCTION

Randy I. Dorn Old Capitol Building · PO BOX 47200 · Olympia, WA 98504-7200 · <http://www.k12.wa.us>

RECEIVED

DEC 27 2011

CITY OF BURIEN

December 20, 2011

Mayor Joan McGilton
400 SW 152nd St; Suite 300
Burien, WA 98166

Dear Mayor McGilton:

I appreciate your interest in supporting the Puget Sound Skills Center's (PSSC) Major Capital Project Campaign to modernize and expand their campus.

Working with all of the skill center directors, the Office of Superintendent of Public Instruction (OSPI) has created a process to score and prioritize skill center capital projects for 2013–15 biennium budget requests. Scoring of capital projects is based on a set of criteria that will be evaluated by teams comprised of OSPI staff, facilities experts and skill center directors. This is the first biennium that this process is being used, and PSSC has taken active steps to have their projects considered through this process.

It is our goal to submit a prioritized list of skill center projects, created through this process, to the Legislature. The process is meant to be transparent and objective. When they develop their 2013–15 capital budget (during the 2013 legislative session), the Legislature will make the final decisions regarding which skill center projects get funded. Again, your interest in supporting PSSC's capital needs is appreciated. If you have specific questions, please contact Robert Dengel at (360) 725-0414 or robert.dengel@k12.wa.us.

Sincerely,

A handwritten signature in cursive script that reads "Randy Dorn".

Randy I. Dorn
State Superintendent
of Public Instruction

Cc: Gordon Beck, Director School Facilities and Organization, OSPI

CFTR: 01/23/12

RECEIVED

DEC 22 2011

CITY OF BURIEN

To the Burien City Council
To the Department of Ecology (DOE)
December 20, 2011
Re-Small group membership to work on the Shoreline Master Plan

To Whom It May Concern:

The Burien City Council has selected a small group to work on rewriting the Burien Shoreline Master Plan (SMP). The SMP working group's mandate is to complete a SMP version that the City Council will accept and submit to the DOE.

Once again, the City of Burien (COB) is falling into the pitfall of the original SMP draft development process that led to an unsuccessful Burien SMP. COB has not recruited knowledgeable and correct stakeholders to work on the SMP. Hundreds of hours of citizen work time and hundreds of thousands of citizen tax dollars were wasted on the first unsuccessful SMP process and it seems that COB is determined to have history repeat itself with the group that's been assembled for the SMP rewrite.

The Marine Shoreline Reach-M 2-is basically a marine conservancy. However during the City Council decision process, this M 2 reach almost completely lost its setback and had its buffer reduced to 20 feet. Had it not been for a few citizens from the Lake Burien Neighborhood and the group, Neighbors of Seahurst Park, this reach of the shoreline would have lost its setback and significant amounts of its protective buffer. No logical reason was given for this other than some City Council members stated that they did not personally believe in setbacks and buffers and they did not believe what scientists had told them.

Due to the diligent efforts of this small handful of Lake Burien Neighborhood citizens and the Neighbors of Seahurst Park by contacting Lucy Krackoviak-City Council, the setback and the 50 foot buffer were saved in the SMP for this marine conservancy. Now that this new small SMP group has been assembled, once again this reach of the shoreline (M 2) has had no one from either of these two advocate groups for M 2 placed on the committee to protect M 2. While the city contacted the Environmental Science Center (ESC) to be the spokesperson for M 2, the Environmental Science Center did not respond. Of course, it would be problematic for the ECS to join in this group process. They were not part of the original groups that gave testimony at any of the SMP hearings and as a result have no standing. Also, their building is owned by the COB which creates potential fallout if the ECS takes a position contrary to the COB on the SMP.

As a result, Jim Clingan has been assigned-by the City Council- to be the environmental representative for this M 2 reach. Jim Clingan is not an individual who has a history of speaking for the environment in the City of Burien and has no standing in speaking for the reach M 2 on the public record. Additionally, the one City Council member, Jerry Robison, who has had no historical experience with the SMP has been placed on this small group- he was appointed to the Council after the SMP had been voted on. This City Council member has historically been opposed to the protection of critical areas and environmental protections in general when he served on the Planning Commission. He identifies himself as a real estate broker, developer and

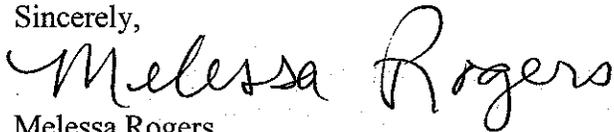
pc: 12/22/11

CFTR: 01/23/12

real estate attorney. We do not consider him to be an appropriate environmental representative for the M 2 reach or for the environment in general.

Therefore, we-the Neighbors of Seahurst Park, the individuals members and the group, who have standing on this M 2 reach of the shoreline-are requesting that a representative from our group or a representative who spoke for the protection of the M 2 reach during the development of the first SMP be given a seat on this committee. This request seems to be in the interest of fair representation which the committee should demonstrate as well as the protection that the M 2 reach of the shoreline warrants.

Sincerely,

A handwritten signature in cursive script that reads "Melessa Rogers". The signature is written in black ink and is positioned to the right of the typed name.

Melessa Rogers

Treasurer

Neighbors of Seahurst Park

cc Environmental Science Center

RECEIVED

DEC 22 2011

CITY OF BURIEN



North Highline Unincorporated Area Council
P.O. Box 66900
Burien, WA 98166
www.northhighlineuac.org

December 21, 2011

Boundary Review Board
Yesler Building, Room 240
400 Yesler Way
Seattle, WA 98104

RE: City of Burien: North Highline "Y" Area Annexation

Dear Sir or Madam:

I am writing on behalf of the North Highline Unincorporated Area Council to express our support for the proposed Burien annexation of the unincorporated area of North Highline, known as "Area Y". We have seen how well the recently annexed portion of North Highline, has faired under the City of Burien, and we are anxious to join with the southern portion of our community, and be part of the city of Burien.

North Highline and Burien are historically linked by many shared services, including, the King County Sheriff's Department, King County Library System, and the Highline School District. We see an improved future of our community with a Burien annexation, and request that the Boundary Review Board approve Burien's proposal, so they can move forward with preparation for an annexation vote.

Sincerely,

Barbara Dobkin
President, North Highline Unincorporated Area Council

Cc: Dow Constantine
Joe McDermott
Burien City Council
Mike Martin

pc: 12/22/11

CFTR: 01/23/12

Janet Stallman

To: lindaplein@comcast.net
Subject: FW: Property Values of Burien

Ms. Plein:

Thank you for your email to the Burien City Council. I'm not sure whether your email was previously acknowledged or not, but I wanted to let you know that we have received it, and it will be made a part of Correspondence for the Record for a future City Council agenda packet.

Janet Stallman

From: Linda Plein [mailto:lindaplein@comcast.net]
Sent: Wednesday, December 21, 2011 5:58 AM
To: Monica Lusk; Lucy Krakowiak; Jack Block Jr.; Joan McGilton; Gordon Shaw; Brian Bennett; Public Council Inbox
Subject: Property Values of Burien

To Burien City Council Members:

You were elected to represent us in the governmental process for the city of Burien.

I am concerned about your focus on annexing more area into the city of Burien..

One of my concerns about the annexation is the effect on property values. You were elected to help protect us and provide

for a healthy environment in our city. How can you justify annexing an area that will bringdown property values? How can

that help Burien? In case you did not see the article in this article shows how much the property values have gone down in Area X and Area Y/White

Center as compared to Burien.

<http://www.highlinetimes.com/2011/09/14/news/tough-year-property-owners-north-highlinenorth-bu>

I appreciate your considering the valuation of current residents of Burien when you are considering annexing any other property to the city.

Sincerely,

Linda Plein

CFTR: 01/23/12

Lisa Clausen

From: Public Council Inbox
Sent: Thursday, December 22, 2011 1:04 PM
To: 'poitrasjohn@comcast.net'
Subject: RE: Less revenues forecast for Area Y by KING COUNTY

Thank you for writing to the Burien City Council. Your message and attachments will be included in the Correspondence for the Record for an upcoming Council meeting.

L. Clausen
City Manager's Office

Please exercise your fiduciary responsibility before proceeding any further down the road to financial disaster that annexation of Area Y will ensure.

(see below and attached)

Members of the Burien City Council

Yesterday, I received a document from the King County Assessor's Office regarding Area Y/White Center/North Highline.

While it was only a preliminary draft, but it shows Area Y as decreasing in taxable land value by \$126,295,650 for the year 2012. This is significantly lower than Berk or the City of Burien projected the value of the land to be in the report and the application. Of course, this means less monies coming into Burien should they annex the area. The Assessor's office anticipates that the Fire District will receive \$189,443 dollars less next year to operate in Area Y. Area Y land values dropped by 17% and remember that Berk projected in its report that land values would continue to rise by 2% annually in the area-that is a difference of 19% from the report to the reality of the situation. I am still waiting to hear the approx. amount less of total dollars this will bring in to operate the area in 2012.

You will recall the the Assessor's office notified Burien that the City will receive approx. \$467,000+ less monies to operate the City in 2012 due to the declining land values in Burien-the core area of the City dropped by 8.+% and the newly annexed area dropped by 12 to 17%. Again **Berk assumed** that values in the city would increase by 2% in Burien.

Clearly, the City will receive a significantly lower amount of revenues than anticipated. **The assumptions about revenues in the Berk report draft are no longer valid** and will not be valid for a number of years-if ever. This is a point that will be made about the Draft Berk Report and the assumptions for revenues that the report is based upon-to the Boundary Review Board.

Please see attached the document from King County .

Also, I received a letter that clearly states that the Highline School District would receive more monies for the north end schools, if Area Y were to annex to Seattle.

Sincerely

John and Linda Poitras
SW 149th St Burien 98166

C FTR: 01/23/12

Subject: RE: PDR - Question on Federal Way School District and Southern Des Moines

Date: Mon, 17 Oct 2011

Des Moines residents who live within the Federal Way School District boundaries pay school taxes to FWSD. These residents pay city taxes to Des Moines, but none of that money comes to schools in either district.

Highline School District does not pay anything to Federal Way School District.

I read your letter to the editor in the Highline Times on October 7, and I would like to point out some areas where you may not have an accurate understanding of the school funding system.

Your letter stated that taxpayers in Burien, Des Moines, SeaTac, and Normandy Park subsidize North Highline schools. Actually, all residents within Highline School District boundaries pay the same property tax rate to the school district, whether they live in a city or in unincorporated King County (North Highline.) The funds are distributed to schools in an equal per-pupil amount, so North Highline schools get the same as all other schools. As such, no schools are being subsidized by taxpayers.

Annexation of North Highline to either Burien or Seattle will not change either the flow of taxes or governance of the school district. School taxes will continue to fund the school district, whether North Highline residents are citizens of Burien or Seattle. Residents of Highline School District will continue to have the same voice in their schools, because the district is governed by the school board elected by voters of the district.

You mentioned that Seattle residents will not fund North Highline schools. In fact, Seattle does have a special voter-approved Family and Education Levy that provides some revenue for schools; so if Seattle were to annex North Highline, schools in North Highline would actually get some additional revenue.

The school district administration does not anticipate the need to raise taxes due to annexation of North Highline to either Seattle or Burien.

I hope that clarifies the situation for you. Thank you for allowing me to provide you with this information. If you have further questions, please contact me.

Catherine Carbone Rogers

Director, Communication and Community Relations

206-433-2331 (office)

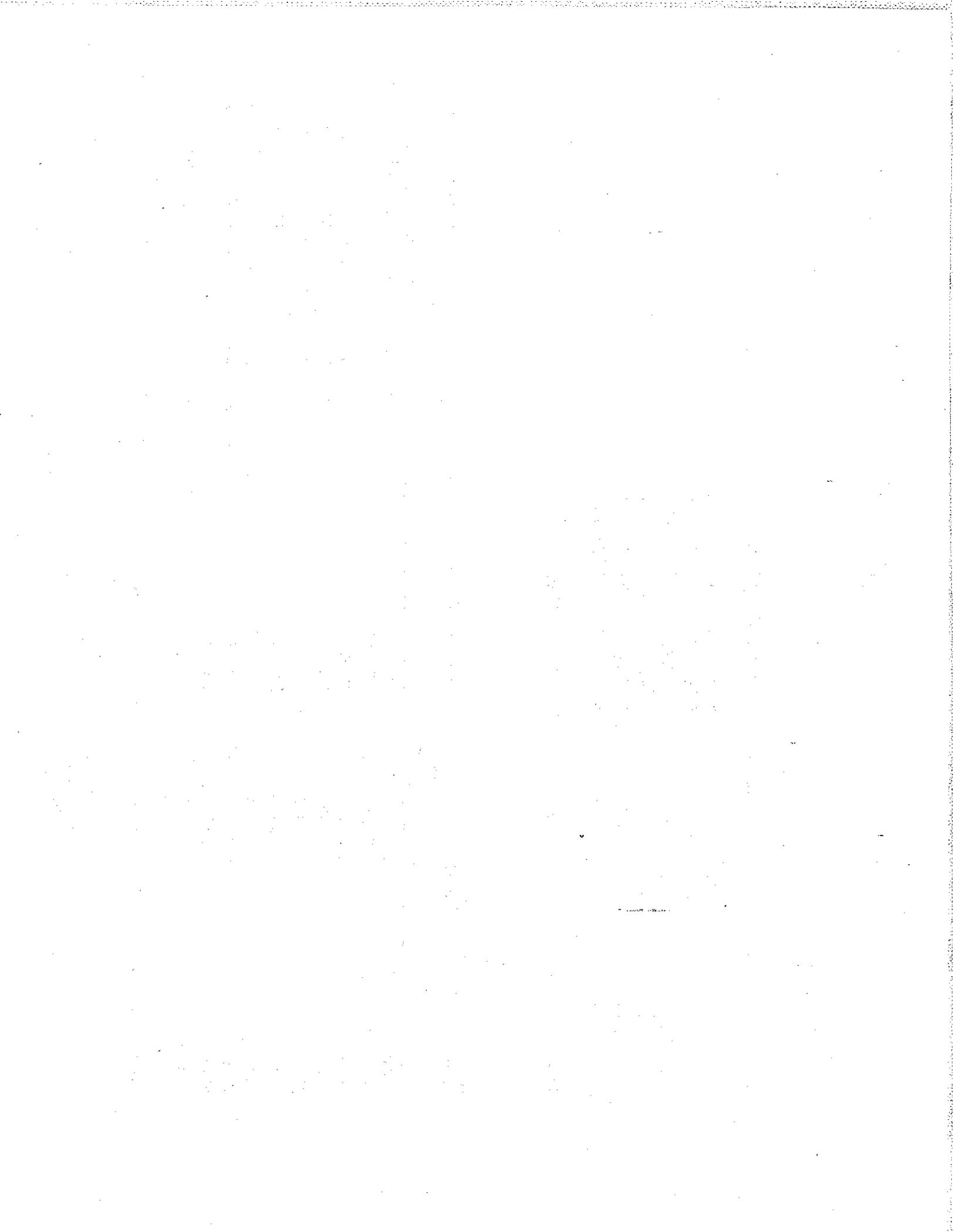
206-683-9198 (cell)

Highline Public Schools

Levy Code	Taxable Value		Decrease
	2011	Preliminary 2012	
3015	19,180,180	18,039,308	(1,140,872)
3030	232,242,950	225,395,520	(6,847,430)
3697	15,199,522	11,849,811	(3,349,711)
3710	346,029,573	305,446,487	(40,583,086)
3780	197,326,687	172,188,045	(25,138,642)
3850	577,438,697	528,202,788	(49,235,909)
Totals	1,387,417,609	1,261,121,959	(126,295,650)

Districts Within Those Codes	Rates		\$ Generated in District		Dif
	2011	2012 Preliminary	2011	2012 Preliminary	
	Roads	2.19730	2.25000	3,048,573	
Fire District 11	1.50000	1.50000	2,081,126	1,891,683	(189,443)
Library	0.50000	0.50000	693,709	630,561	(63,148)
EMS	0.30000	0.30000	416,225	378,337	(37,889)
Flood	0.10976	0.11463	152,283	144,562	(7,721)
Ferry	0.00360	0.00372	4,995	4,691	(303)
County	1.33816	1.41524	1,856,587	1,784,790	(71,797)
Port	0.22366	0.22969	310,310	289,667	(20,643)
State	2.27990	unknown			
w/o schools	8.45238		8,563,807	7,961,816	(601,991)

Schools will get whatever was voted in regardless of value/rate



Janet Stallman

From: Public Council Inbox
To: SELL, T.M.
Cc: Mike Martin
Subject: RE: research projects

Professor Sell,

Thank you for your inquiry. Your email will be included in the Correspondence for the Record at a future council meeting. I have copied our City Manager so that he is aware of your request.

Sincerely,

Janet Stallman

From: SELL, T.M. [<mailto:TSELL@highline.edu>]
Sent: Wednesday, December 28, 2011 2:06 PM
To: Public Council Inbox
Subject: research projects

Dear council members:

For my Winter 2012 State and Local Government class, I am requiring the students to work with a local or state official on a research project to be completed by the end of the quarter. Ideally this will be something of value to the official, relating to a policy issue of concern to the local or state government agency. This is a sophomore-level class, and only a 10-week quarter, so I am hopeful that the projects can be simple enough to offer the students a chance to both learn something and satisfactorily complete the project by the end of the quarter.

If you are interested in participating in this project, I will be much obliged. If you have any specific ideas on what you would like a student to work on, that's even better.

I look forward to hearing from you.

best,
TMS

T.M. Sell, Ph.D.
Professor of political economy and journalism
Highline College
206-878-3710, ext. 3150/3292
tsell@highline.edu

Janet Stallman

From: Public Council Inbox
To: John Cochran
Cc: Mike Martin
Subject: RE: Annexation of North Highline

Mr. Cochran,

Thank you for writing to express your concerns to the City Council. Your email will be included in the Correspondence for the Record at an upcoming Council meeting.

Janet Stallman

From: John Cochran [<mailto:jcochran@speakeasy.net>]
Sent: Thursday, December 29, 2011 2:44 PM
To: Public Council Inbox
Subject: Annexation of North Highline

Dear Council members,

My name is John Cochran. My wife and I have been residents of Burien since 1991. I am an Architect who had a recent experience that may be helpful to you about if and how Burien proceeds with the annexation of North Highline.

I prepared construction documents for constructing an addition onto a single family residence in the highline area recently annexed by Burien. The design was in full compliance with the building code. However, the Fire Department denied the building permit because the existing water utility serving the address is undersized and does not provide adequate capacity for fire fighting. The Fire Department would only grant the building permit upon the condition that the home owner furnish and install a sprinkler fire protection system in the entire existing home and proposed addition. The Fire Department's reason was, they would not otherwise be able to fight a fire because of inadequate capacity of the existing water utility. My client chose not to proceed with the addition improvements because of the prohibitive additional expense and other leak risks associated with residential sprinkler systems.

My immediate concern about this goes beyond the specific home owner involved. It goes to all the existing homeowners in the Highline community served by this under-capacity water system. All the home owners in this area seem to be currently at risk for lack of Fire Department protection, and apparently are not aware of it.

The situation could cause the Burien Fire Department rating to be downgraded by the National Fire Protection Agency, and property fire insurers. This obviously would not be good for Burien.

I tell you this story because if Burien pursues annexation of the North Highline area, I recommend before a final decision is made, you conduct a proper due-diligence investigation and evaluation of all existing infrastructure. A due-diligence investigation should reveal the scope, age, condition, performance capacity, and long-term performance expectations of all the infrastructure systems. If Burien proceeds with the annexation, the due-diligence evaluation can serve as a basis for planning future upgrades. The due-diligence evaluation could also serve Burien in the final negotiation with King County.

Excuse me for possibly being a bit harsh, but, I am suspicious that King County knows exactly why they are encouraging this annexation. I do not want Burien to unknowingly assume the cost for future utility upgrades.

I look forward to learn how the Council will attend to this matter.

CFTR: 01/23/12

Regards,

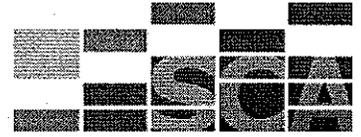
John C. Cochran, AIA, CSI, CCS
Architect
1417 SW 143rd Street
Seattle, Washington 98166

Tel: 206.439.0655
Cell: 206.849.3425
jcochran@speakeasy.net

RECEIVED

JAN 06 2011

CITY OF BURIEN



Suburban Cities Association

6300 Southcenter Blvd Suite 206

Tukwila Washington 98188

Phone 206 433 7168

Fax 206 242 8031

Email sca@suburbancities.org

December 30, 2011

Honorable Joan McGilton
City of Burien
400 SW 152nd St Suite 300
Burien, WA 98166

Dear Mayor McGilton,

On behalf of the Board of Directors of the Suburban Cities Association (SCA), it is my pleasure to inform you that you have been appointed as a full member to serve on the Metropolitan King County Regional Transit Committee. This appointment is for a one-year term and will end December 31, 2012.

This committee meets on the 3rd Wednesday of each month, from 3:00 to 5:00 p.m. at the King County Courthouse. There is often a caucus meeting of suburban representatives prior to the full meeting. Please note that this meeting time is set by the committee, and may be subject to change.

As an appointee to Metropolitan King County Regional Transit Committee, you are serving on behalf of all the member cities of the Suburban Cities Association, and the nearly one million citizens who reside in those cities. This is an important responsibility, and we thank you for your willingness to play an active role not just in your individual city, but in the region as a whole.

As a representative of SCA it is important that you attend all committee meetings, as well as all caucus briefings so that all SCA members are on the same page as to SCA policy positions. This is true whether you are serving as a member or an alternate to the committee.

You are also asked to regularly attend the SCA Public Issues Committee (PIC). These meetings provide an opportunity for SCA members to ask questions, share information, and express opinions to you and other committee members. It is also an opportunity for you to update SCA membership about the issues that your committee is grappling with, and to bring policy recommendations before the PIC. The PIC recommends public policy positions to the SCA Board of Directors. The positions adopted by the SCA Board will in turn provide you with direction as you serve on the Metropolitan King County Regional Transit Committee.

We hope that you will also regularly attend the SCA Networking Dinners, as they provide a valuable opportunity to update your fellow elected officials on the work of regional boards and committees in a less formal setting. The next SCA Networking Dinner will be held on January 18, 2012 at Embassy Suites in Tukwila. Our guest speaker will be King County Executive Dow Constantine.

On behalf of the SCA Board of Directors, we thank you for your willingness to serve. Should you have any questions please contact the Suburban Cities office at 206-433-7168, or email to SCA@suburbancities.org.

Sincerely,

Dave Hutchinson, President SCA Board of Directors

cc: Maiya Andrews, PW

CFTR: 01/23/12

January 4, 2012

Mayor Joan McGilton
Mr. Mike Martin, City Manager
400 SW 152nd Street, Suite 300
Burien, WA 98166

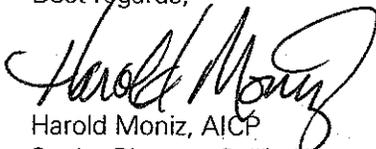
Dear Joan and Mike:

I had the opportunity to work with your Community Development staff on the Group Health Cooperative Rezone and Comprehensive Plan Amendment that was recently approved by the City Council. I had the pleasure of working with your Community Development Department team and, at the end, with your City Attorney. You should know your staff is highly capable, responsive and professional in carrying out their mission and responsibilities to accomplish City objectives and goals. I have spent over 20 years in the public sector, the last five as Planning Director, so I believe I have a pretty good perspective on government operations.

Art Pederson was our navigator though the Rezone and Comprehensive Plan process and he skillfully guided and advised our team. Art was quick to respond to all of our questions and his knowledge of the code and process was invaluable to our team. I always felt the light touch of Scott Greenburg, overseeing the process and ensuring the Planning Commission didn't stray too far from their appointed responsibilities. Craig Knutson assisted us with clear and direct communications on one of the legal issues that came up.

From all of our team who worked on the Group Health Rezone and Comprehensive Plan Amendment, we thank you for all your efforts on our behalf and we look forward to being a part of the community for another 50 years or more. We appreciate the time, attention and expertise your staff, Planning Commission and City Council brought on our behalf.

Best regards,



Harold Moniz, AICP
Senior Planner, CollinsWoerman

HM:lb

Cc: Scott Greenberg, CD

CFTR: 01/23/12

COMPUTER CHECK REGISTER

CHECK REGISTER APPROVAL

WE, THE MEMBERS OF THE CITY COUNCIL OF BURIEN, WASHINGTON, HAVING RECEIVED DEPARTMENT CERTIFICATION THAT MERCHANDISE AND/OR SERVICES HAVE BEEN RECEIVED OR RENDERED, DO HEREBY APPROVE FOR PAYMENT ON This 23rd day of January 2012 the FOLLOWING:

CHECK NOS. 30520-30644

IN THE AMOUNTS OF \$289,033.32

WITH VOIDED CHECK NOS. NA

THE UNIVERSITY OF CHICAGO
DIVISION OF THE PHYSICAL SCIENCES
DEPARTMENT OF CHEMISTRY
5800 S. UNIVERSITY AVENUE
CHICAGO, ILLINOIS 60637
TEL: 773-936-3700
FAX: 773-936-3701
WWW: WWW.CHEM.UCHICAGO.EDU

Accounts Payable
Checks for Approval



User: CathyR
Printed: 01/19/2012 - 12:09 PM

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Amount
30520	01/23/2012	General Fund	Subscriptions/publications	ABC LEGAL	220.00
Check Total:					220.00
30521	01/23/2012	General Fund	Office And Operating Supplies	ACE Hardware	10.49
30521	01/23/2012	General Fund	Office And Operating Supplies	ACE Hardware	46.54
30521	01/23/2012	General Fund	Office Supplies	ACE Hardware	41.88
30521	01/23/2012	Surface Water Management Fund	PW Shop Remodel	ACE Hardware	25.18
30521	01/23/2012	Street Fund	PW Shop Remodel	ACE Hardware	25.17
30521	01/23/2012	General Fund	Office Supplies	ACE Hardware	7.94
30521	01/23/2012	General Fund	Office and Operating Supplies	ACE Hardware	13.12
Check Total:					170.32
30522	01/23/2012	General Fund	Office And Operating Supplies	AIRGAS-NORPAC, INC.	25.46
Check Total:					25.46
30523	01/23/2012	General Fund	Nuisance Abatement Costs	David Karch	85.00
30523	01/23/2012	General Fund	Nuisance Abatement Costs	David Karch	467.50
30523	01/23/2012	General Fund	Nuisance Abatement Costs	David Karch	63.75
30523	01/23/2012	General Fund	Nuisance Abatement Costs	David Karch	42.50
30523	01/23/2012	General Fund	Nuisance Abatement Costs	David Karch	85.00
30523	01/23/2012	General Fund	Nuisance Abatement Costs	David Karch	127.50
30523	01/23/2012	General Fund	Nuisance Abatement Costs	David Karch	85.00
30523	01/23/2012	General Fund	Nuisance Abatement Costs	David Karch	255.00
30523	01/23/2012	General Fund	Nuisance Abatement Costs	David Karch	42.50
30523	01/23/2012	General Fund	Nuisance Abatement Costs	David Karch	63.75
30523	01/23/2012	General Fund	Nuisance Abatement Costs	David Karch	85.00
Check Total:					1,402.50

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Amount
30524	01/23/2012	General Fund	Office And Operating Supplies	Aramark Uniform Services	21.90
				Check Total:	21.90
30525	01/23/2012	General Fund	Telephone	A T & T	51.46
				Check Total:	51.46
30526	01/23/2012	General Fund	Office and Operating Supplies	Atlantis Designs	275.00
				Check Total:	275.00
30527	01/23/2012	General Fund	Teen Programs	Brian J Barnes	190.36
				Check Total:	190.36
30528	01/23/2012	Parks & Gen Gov't CIP	Pre-design Engineering	Tom Beckwith FAICP	13,061.50
				Check Total:	13,061.50
30529	01/23/2012	General Fund	Printing	Brim Press, LLC	109.50
30529	01/23/2012	General Fund	Printing/binding/copying	Brim Press, LLC	65.70
				Check Total:	175.20
30530	01/23/2012	General Fund	Prof. Svcs-instructors	Viola Brumbaugh	783.90
				Check Total:	783.90
30531	01/23/2012	General Fund	MIS Plan Implementation	CDW-G	252.95
				Check Total:	252.95
30532	01/23/2012	General Fund	Office and Operating Supplies	Clay Art Center, Inc.	350.24
				Check Total:	350.24
30533	01/23/2012	Street Fund	Telephone	CenturyLink	48.53
30533	01/23/2012	Surface Water Management Fund	Telephone	CenturyLink	48.53
				Check Total:	97.06

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Amount
30534	01/23/2012	General Fund	Office And Operating Supplies	Complete Office	153.58
Check Total:					153.58
30535	01/23/2012	General Fund	Utilities	City of Seattle	32.06
30535	01/23/2012	General Fund	Utilities	City of Seattle	14.05
30535	01/23/2012	General Fund	Utilities	City of Seattle	16.74
30535	01/23/2012	Street Fund	Utilities - Traffic Signals	City of Seattle	1,921.30
Check Total:					1,984.15
30536	01/23/2012	General Fund	State Lobbying Services	Michael D. Doubleday	2,850.00
Check Total:					2,850.00
30537	01/23/2012	General Fund	Human Svc-family/youth	Domestic Abuse Women's Network	500.00
Check Total:					500.00
30538	01/23/2012	Surface Water Management Fund	Office And Operating Supplies	Dunn Lumber Co.	10.87
30538	01/23/2012	Street Fund	Office And Operating Supplies	Dunn Lumber Co.	10.88
30538	01/23/2012	Street Fund	Office And Operating Supplies	Dunn Lumber Co.	5.82
30538	01/23/2012	Surface Water Management Fund	Office And Operating Supplies	Dunn Lumber Co.	5.82
30538	01/23/2012	General Fund	Office and Operating Supplies	Dunn Lumber Co.	54.21
30538	01/23/2012	General Fund	Office and Operating Supplies	Dunn Lumber Co.	65.77
30538	01/23/2012	General Fund	Office and Operating Supplies	Dunn Lumber Co.	13.67
30538	01/23/2012	General Fund	Office and Operating Supplies	Dunn Lumber Co.	315.13
Check Total:					482.17
30539	01/23/2012	General Fund	Repairs And Maintenance	Elidrew, LLC	11.83
Check Total:					11.83
30540	01/23/2012	Transportation CIP	Transpo Master Plan	Fehr and Peers	5,502.99
Check Total:					5,502.99
30541	01/23/2012	General Fund	Fuel/gas consumption	Wright Express FSC	99.53
30541	01/23/2012	Street Fund	Fuel/gas/gasoline consumption	Wright Express FSC	2,006.03
30541	01/23/2012	Surface Water Management Fund	Fuel/gas/gasoline consumption	Wright Express FSC	1,724.34
30541	01/23/2012	General Fund	Fuel/gas/gasoline Consumption	Wright Express FSC	320.98
30541	01/23/2012	General Fund	Fuel/gas/gasoline Consumption	Wright Express FSC	376.73

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Amount	
30541	01/23/2012	General Fund	Fuel/Gas Consumption	Wright Express FSC	82.66	
30541	01/23/2012	General Fund	Citizens Patrol/ Crime Prevent	Wright Express FSC	5.15	
30541	01/23/2012	General Fund	Fuel/gas/gasoline Consumption	Wright Express FSC	100.85	
					Check Total:	4,716.27
30542	01/23/2012	General Fund	Professional Services	Goodbye Graffiti	205.86	
30542	01/23/2012	General Fund	Professional Services	Goodbye Graffiti	1,761.86	
					Check Total:	1,967.72
30543	01/23/2012	General Fund	Professional Services	Brian Gilles	349.48	
					Check Total:	349.48
30544	01/23/2012	General Fund	Arts & Culture Grants	Highline Community Symphonic B	1,500.00	
					Check Total:	1,500.00
30545	01/23/2012	Surface Water Management Fund	Office And Operating Supplies	HOME DEPOT	213.98	
30545	01/23/2012	Street Fund	Office And Operating Supplies	HOME DEPOT	213.97	
					Check Total:	427.95
30546	01/23/2012	General Fund	Operating Rentals and Leases	Head-quarters	81.50	
					Check Total:	81.50
30547	01/23/2012	Street Fund	Repairs And Maintenance	ICON Materials	260.64	
30547	01/23/2012	Surface Water Management Fund	Repairs And Maintenance	ICON Materials	260.63	
30547	01/23/2012	Surface Water Management Fund	Repairs And Maintenance	ICON Materials	205.53	
30547	01/23/2012	Street Fund	Repairs And Maintenance	ICON Materials	205.53	
					Check Total:	932.33
30548	01/23/2012	General Fund	Miscellaneous	Iron Mountain Rec. Management	544.32	
30548	01/23/2012	General Fund	Miscellaneous	Iron Mountain Rec. Management	423.74	
30548	01/23/2012	General Fund	Miscellaneous	Iron Mountain Rec. Management	188.65	
30548	01/23/2012	General Fund	Miscellaneous	Iron Mountain Rec. Management	257.08	
					Check Total:	1,413.79
30549	01/23/2012	General Fund	Professional Services	K&L Gates LLP	2,479.00	

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Amount	
					Check Total:	2,479.00
30550	01/23/2012	Street Fund	Street Maint. Contract-kc	KING COUNTY FINANCE	383.52	
30550	01/23/2012	Surface Water Management Fund	Swm Billed By King Co Roads	KING COUNTY FINANCE	18,777.57	
30550	01/23/2012	Street Fund	Traffic Signal/control.mainten	KING COUNTY FINANCE	11,896.29	
30550	01/23/2012	Street Fund	Professional Services	KING COUNTY FINANCE	920.00	
30550	01/23/2012	Street Fund	Professional Services	KING COUNTY FINANCE	325.09	
30550	01/23/2012	General Fund	Jail contracts	KING COUNTY FINANCE	3,532.50	
					Check Total:	35,834.97
30551	01/23/2012	General Fund	Drug seizure proceeds KCSO	K.C.Sheriff-Sgt.R. Crenshaw	1,145.00	
					Check Total:	1,145.00
30552	01/23/2012	General Fund	Telephone	K. SCOTT KIMERER	75.11	
					Check Total:	75.11
30553	01/23/2012	General Fund	Public Defender	Kirshenbaum & Goss, Inc., P.S	6,695.00	
					Check Total:	6,695.00
30554	01/23/2012	General Fund	Prof. Svcs-instructors	Kim Klose	18.00	
					Check Total:	18.00
30555	01/23/2012	General Fund	Prof. Svcs-instructors	Alexander Lewis	742.50	
					Check Total:	742.50
30556	01/23/2012	Surface Water Management Fund	Repairs And Maintenance	Lloyd Enterprises, Inc.	132.01	
					Check Total:	132.01
30557	01/23/2012	General Fund	Subscriptions/publications	Matthew Bender & Co., Inc.	205.43	
					Check Total:	205.43
30558	01/23/2012	General Fund	Telephone	JOAN McGILTON	511.50	
30558	01/23/2012	General Fund	Meals	JOAN McGILTON	73.00	
30558	01/23/2012	General Fund	Mileage	JOAN McGILTON	217.89	

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Amount
30558	01/23/2012	General Fund	Travel	JOAN McGILTON	31.00
Check Total:					833.39
30559	01/23/2012	General Fund	Office and Operating Supplies	McLendon Hardware, Inc.	8.67
30559	01/23/2012	Surface Water Management Fund	PW Shop Remodel	McLendon Hardware, Inc.	23.86
30559	01/23/2012	Street Fund	PW Shop Remodel	McLendon Hardware, Inc.	23.86
30559	01/23/2012	Surface Water Management Fund	Office And Operating Supplies	McLendon Hardware, Inc.	11.46
30559	01/23/2012	Street Fund	Office And Operating Supplies	McLendon Hardware, Inc.	11.46
30559	01/23/2012	Surface Water Management Fund	Repairs And Maintenance	McLendon Hardware, Inc.	18.94
30559	01/23/2012	Street Fund	Repairs And Maintenance	McLendon Hardware, Inc.	18.94
30559	01/23/2012	Surface Water Management Fund	PW Shop Remodel	McLendon Hardware, Inc.	10.90
30559	01/23/2012	Street Fund	PW Shop Remodel	McLendon Hardware, Inc.	10.90
Check Total:					138.99
30560	01/23/2012	General Fund	Human Svc-family/youth	Matt Griffin YMCA	3,000.00
Check Total:					3,000.00
30561	01/23/2012	General Fund	B&O Tax collect & audit	Microflex, Inc.	1,927.74
30561	01/23/2012	General Fund	B&O Tax collect & audit	Microflex, Inc.	119.94
30561	01/23/2012	Street Fund	Dt Business License Svcs	Microflex, Inc.	2,302.18
30561	01/23/2012	Street Fund	Dt Business License Svcs	Microflex, Inc.	119.94
30561	01/23/2012	General Fund	Sales Tax Auditing Costs	Microflex, Inc.	323.39
Check Total:					4,793.19
30562	01/23/2012	General Fund	Nuisance Abatement Costs	Miller Paint Co.	23.28
30562	01/23/2012	General Fund	Nuisance Abatement Costs	Miller Paint Co.	21.09
30562	01/23/2012	General Fund	Nuisance Abatement Costs	Miller Paint Co.	42.20
Check Total:					86.57
30563	01/23/2012	General Fund	Human Svc-family/youth	NAVOS	1,500.00
Check Total:					1,500.00
30564	01/23/2012	General Fund	Human Svc-family/youth	New Futures	8,000.00
Check Total:					8,000.00
30565	01/23/2012	Surface Water Mgmt CIP	DRAINAGE MASTER PLAN	OTAK, Inc	2,541.50

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Amount
				Check Total:	2,541.50
30566	01/23/2012	Street Fund	Repairs And Maintenance	Pacific Torque	767.31
30566	01/23/2012	Surface Water Management Fund	Repairs And Maintenance	Pacific Torque	767.30
				Check Total:	1,534.61
30567	01/23/2012	General Fund	Human Svc-family/youth	Pregnancy Aid of So. King Coun	500.00
				Check Total:	500.00
30568	01/23/2012	General Fund	Instructors Prof Srvs	J. D. Paulson	200.00
				Check Total:	200.00
30569	01/23/2012	Transportation CIP	construction inspection	Perteet Inc.	16,466.67
				Check Total:	16,466.67
30570	01/23/2012	Street Fund	Office And Operating Supplies	Pacific Industrial Supply	106.71
30570	01/23/2012	Street Fund	Office And Operating Supplies	Pacific Industrial Supply	27.14
				Check Total:	133.85
30571	01/23/2012	General Fund	Printing/binding/copying	Print Place	432.53
				Check Total:	432.53
30572	01/23/2012	General Fund	Channel 21 Video Production	Puget Sound Access	712.50
				Check Total:	712.50
30573	01/23/2012	General Fund	Utilities	PSE Pmt. Processing	535.80
30573	01/23/2012	General Fund	Utilities	PSE Pmt. Processing	2,296.01
30573	01/23/2012	Street Fund	Utilities-street Lighting	PSE Pmt. Processing	1,593.15
				Check Total:	4,424.96
30574	01/23/2012	Surface Water Management Fund	Surface Water Mgmt Inventory	Pipeline Video&Cleaning North	6,878.07

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Amount
				Check Total:	6,878.07
30575	01/23/2012	General Fund	RedFlex Red Light Camera	Redflex Traffic Systems	19,400.00
30575	01/23/2012	General Fund	RedFlex Red Light Camera	Redflex Traffic Systems	19,400.00
				Check Total:	38,800.00
30576	01/23/2012	General Fund	Right Of Way Use Permit	Carolyn Holmes	2,000.00
				Check Total:	2,000.00
30577	01/23/2012	General Fund	Electrical Permit	Northwest Permit	57.60
				Check Total:	57.60
30578	01/23/2012	General Fund	Business & Occupation Tax	Garages ETC	263.23
				Check Total:	263.23
30579	01/23/2012	General Fund	Business & Occupation Tax	Allen Benefits Group LLC	45.40
				Check Total:	45.40
30580	01/23/2012	General Fund	Professional Services	River Oaks Communications Corp	3,050.25
				Check Total:	3,050.25
30581	01/23/2012	General Fund	Human Svc-family/youth	Refugee Support Services	1,000.00
				Check Total:	1,000.00
30582	01/23/2012	General Fund	Office and Operating Supplies	School Specialty, Inc.	217.14
				Check Total:	217.14
30583	01/23/2012	General Fund	Advertising	Seattle Times	82.56
30583	01/23/2012	General Fund	Advertising	Seattle Times	154.80
				Check Total:	237.36
30584	01/23/2012	General Fund	Office and Operating Supplies	Seatown, Locksmith	84.86

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Amount
30584	01/23/2012	General Fund	Office and Operating Supplies	Seatown Locksmith	109.50
Check Total:					194.36
30585	01/23/2012	General Fund	Computer Consultant Prof Svcs	SEITEL Systems, LLC	682.50
30585	01/23/2012	Street Fund	Computer Consultant Pro Svc	SEITEL Systems, LLC	113.75
30585	01/23/2012	Surface Water Management Fund	Computer Consultant Pro Svc	SEITEL Systems, LLC	113.75
30585	01/23/2012	General Fund	Computer Consultant Prof Svcs	SEITEL Systems, LLC	1,454.07
30585	01/23/2012	Street Fund	Computer Consultant Pro Svc	SEITEL Systems, LLC	242.34
30585	01/23/2012	Surface Water Management Fund	Computer Consultant Pro Svc	SEITEL Systems, LLC	242.34
Check Total:					2,848.75
30586	01/23/2012	General Fund	Professional Services	Nancy Shattuck	1,940.00
Check Total:					1,940.00
30587	01/23/2012	General Fund	Nuisance Abatement Costs	Sherwin-Williams Co.	12.59
30587	01/23/2012	General Fund	Nuisance Abatement Costs	Sherwin-Williams Co.	36.93
Check Total:					49.52
30588	01/23/2012	General Fund	Professional Services	Shiels Obletz Johnsen	913.07
30588	01/23/2012	Transportation CIP	professional services	Shiels Obletz Johnsen	7,330.58
Check Total:					8,243.65
30589	01/23/2012	General Fund	Telephone	SPRINT	177.96
30589	01/23/2012	General Fund	Telephone	SPRINT	202.12
30589	01/23/2012	General Fund	Drug seizure proceeds KCSO	SPRINT	401.60
30589	01/23/2012	General Fund	Telephone	SPRINT	74.56
30589	01/23/2012	General Fund	Telephone	SPRINT	43.13
30589	01/23/2012	General Fund	Telephone	SPRINT	1,384.60
30589	01/23/2012	General Fund	Misc. EOC	SPRINT	57.78
30589	01/23/2012	General Fund	Telephone	SPRINT	333.85
30589	01/23/2012	Street Fund	Telephone	SPRINT	333.85
30589	01/23/2012	Surface Water Management Fund	Telephone	SPRINT	333.85
Check Total:					3,343.30
30590	01/23/2012	General Fund	Quarterly Newsletter	The Daily Herald Company	250.00

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Amount
				Check Total:	250.00
30591	01/23/2012	General Fund	Telephone	TelSpan, Inc.	14.84
				Check Total:	14.84
30592	01/23/2012	General Fund	Teen Programs	Reginald Thomas	380.72
				Check Total:	380.72
30593	01/23/2012	General Fund	Parks Maintenance	Trugreen-landcare/NW Region	317.55
				Check Total:	317.55
30594	01/23/2012	General Fund	Human Svc-family/youth	Tukwila Pantry	1,250.00
				Check Total:	1,250.00
30595	01/23/2012	Street Fund	Telephone	Verizon Wireless	107.53
30595	01/23/2012	Surface Water Management Fund	Telephone	Verizon Wireless	35.39
30595	01/23/2012	General Fund	Telephone	Verizon Wireless	43.03
30595	01/23/2012	General Fund	Telephone	Verizon Wireless	43.01
30595	01/23/2012	General Fund	Telephone	Verizon Wireless	-8.32
				Check Total:	220.64
30596	01/23/2012	General Fund	Instructors Prof Srvs	Minh Huynh	500.50
				Check Total:	500.50
30597	01/23/2012	General Fund	Prosecution - City Atty	Walls Law Firm	12,750.49
30597	01/23/2012	General Fund	Attorney Srvcs - Litigation	Walls Law Firm	387.50
				Check Total:	13,137.99
30598	01/23/2012	General Fund	Jail contracts	WASPC-Regional Cities EHM	360.00
				Check Total:	360.00
30599	01/23/2012	General Fund	Utilities	Water District No. 20	41.48
30599	01/23/2012	General Fund	Utilities	Water District No. 20	41.48
30599	01/23/2012	General Fund	Utilities	Water District No. 20	45.44

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Amount
30599	01/23/2012	Street Fund	Landscape Maint - Utilities	Water District No. 20	118.50
				Check Total:	246.90
30600	01/23/2012	Street Fund	Landscape Maint - Utilities	Water District No. 49	110.00
30600	01/23/2012	Street Fund	Landscape Maint - Utilities	Water District No. 49	54.50
30600	01/23/2012	Street Fund	Landscape Maint - Utilities	Water District No. 49	54.50
30600	01/23/2012	Street Fund	Landscape Maint - Utilities	Water District No. 49	54.50
30600	01/23/2012	Street Fund	Landscape Maint - Utilities	Water District No. 49	71.90
30600	01/23/2012	General Fund	Utilities	Water District No. 49	179.80
				Check Total:	525.20
30601	01/23/2012	Street Fund	Garbage Franchise Tech Assist	Wilder Environmental Consultin	963.51
				Check Total:	963.51
30602	01/23/2012	General Fund	Subscriptions/publications	West Payment Center	404.94
				Check Total:	404.94
30603	01/23/2012	Street Fund	Miscellaneous	Waste Management of Seattle	1,204.65
30603	01/23/2012	Surface Water Management Fund	Miscellaneous	Waste Management of Seattle	1,204.66
				Check Total:	2,409.31
30604	01/23/2012	General Fund	Office and Operating Supplies	Walter E. Nelson Co.	85.41
30604	01/23/2012	General Fund	Office and Operating Supplies	Walter E. Nelson Co.	472.38
30604	01/23/2012	General Fund	Office and Operating Supplies	Walter E. Nelson Co.	-144.88
				Check Total:	412.91
30605	01/23/2012	Transportation CIP	construction engineering	Washington State D.O.T.	98.55
				Check Total:	98.55
30606	01/23/2012	General Fund	Professional Services	Washington State Patrol	80.00
				Check Total:	80.00
30607	01/23/2012	General Fund	Subscriptions/publications	Attorney's Eagle Eye Service	59.13

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Amount
				Check Total:	59.13
30608	01/23/2012	General Fund	Professional Services	Administrative Office of the C	5.52
				Check Total:	5.52
30609	01/23/2012	General Fund	Office And Operating Supplies	Aramark Uniform Services	25.51
				Check Total:	25.51
30610	01/23/2012	General Fund	Professional Services	Kenneth Barger	158.88
				Check Total:	158.88
30611	01/23/2012	Surface Water Management Fund	Office And Operating Supplies	SAMIR BASMEH	76.65
30611	01/23/2012	Street Fund	Office And Operating Supplies	SAMIR BASMEH	76.64
				Check Total:	153.29
30612	01/23/2012	General Fund	Printing/binding/copying	Brim Press, LLC	65.70
30612	01/23/2012	General Fund	Printing/binding/copying	Brim Press, LLC	65.70
				Check Total:	131.40
30613	01/23/2012	General Fund	Drug seizure proceeds KCSO	Cellebrite USA Corp.	85.00
30613	01/23/2012	General Fund	Drug seizure proceeds KCSO	Cellebrite USA Corp.	49.99
30613	01/23/2012	General Fund	Office And Operating Supplies	Cellebrite USA Corp.	723.99
				Check Total:	858.98
30614	01/23/2012	General Fund	Telephone	CenturyLink	48.36
				Check Total:	48.36
30615	01/23/2012	General Fund	Utilities	COMCAST	71.90
				Check Total:	71.90
30616	01/23/2012	Street Fund	Professional Services	Azteca Systems, Inc.	3,952.95
30616	01/23/2012	Surface Water Management Fund	Professional services	Azteca Systems, Inc.	3,952.95

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Amount	
					Check Total:	7,905.90
30617	01/23/2012	Street Fund	Office And Operating Supplies	Culligan Spokane	16.43	
30617	01/23/2012	Surface Water Management Fund	Office And Operating Supplies	Culligan Spokane	16.42	
					Check Total:	32.85
30618	01/23/2012	General Fund	Drug seizure proceeds KCSO	Davis Sign Company, Inc.	503.70	
					Check Total:	503.70
30619	01/23/2012	General Fund	Publications	Daily Journal of Commerce	220.00	
					Check Total:	220.00
30620	01/23/2012	General Fund	Printing/binding/copying	Department of Licensing	25.00	
					Check Total:	25.00
30621	01/23/2012	General Fund	Utilities	Glendale Heating	2,446.03	
					Check Total:	2,446.03
30622	01/23/2012	General Fund	Parks Building Security	Guardian Security	65.00	
					Check Total:	65.00
30623	01/23/2012	General Fund	Operating Rents & Leases	IKON Office Solutions	455.54	
30623	01/23/2012	General Fund	Operating Rents & Leases	IKON Office Solutions	321.93	
					Check Total:	777.47
30624	01/23/2012	General Fund	Telephone	Integra Telecom	1,304.80	
30624	01/23/2012	General Fund	Telephone	Integra Telecom	114.38	
30624	01/23/2012	General Fund	Telephone	Integra Telecom	171.57	
30624	01/23/2012	General Fund	Telephone	Integra Telecom	142.98	
30624	01/23/2012	General Fund	Telephone	Integra Telecom	57.19	
30624	01/23/2012	General Fund	Telephone	Integra Telecom	285.95	
30624	01/23/2012	General Fund	Telephone	Integra Telecom	142.98	
30624	01/23/2012	General Fund	Telephone	Integra Telecom	171.57	
30624	01/23/2012	General Fund	Telephone	Integra Telecom	343.14	

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Amount	
					Check Total:	2,734.56
30625	01/23/2012	General Fund	Dues/memberships/subscriptions	King County Clerk's Associatio	25.00	
					Check Total:	25.00
30626	01/23/2012	General Fund	Miscellaneous	King County Recorder	63.00	
30626	01/23/2012	General Fund	Miscellaneous	King County Recorder	63.00	
30626	01/23/2012	General Fund	Miscellaneous	King County Recorder	63.00	
					Check Total:	189.00
30627	01/23/2012	General Fund	Dues/memberships/subscriptions	MIKE MARTIN	168.00	
					Check Total:	168.00
30628	01/23/2012	General Fund	Nuisance Abatement Costs	Miller Paint Co.	107.67	
30628	01/23/2012	General Fund	Nuisance Abatement Costs	Miller Paint Co.	97.83	
30628	01/23/2012	General Fund	Nuisance Abatement Costs	Miller Paint Co.	23.27	
30628	01/23/2012	General Fund	Nuisance Abatement Costs	Miller Paint Co.	42.20	
					Check Total:	270.97
30629	01/23/2012	General Fund	Office And Operating Supplies	National Maintenance Contracto	589.66	
30629	01/23/2012	General Fund	City Hall Custodial	National Maintenance Contracto	1,032.29	
30629	01/23/2012	General Fund	Professional Services	National Maintenance Contracto	150.00	
					Check Total:	1,771.95
30630	01/23/2012	General Fund	Dues/memberships/registrations	National Public Employer Labor	200.00	
					Check Total:	200.00
30631	01/23/2012	General Fund	Building Maintenance	Protection One Alarm Monitorin	47.38	
					Check Total:	47.38
30632	01/23/2012	General Fund	Dues/memberships	Puget Sound Clean Air Agency	18,019.00	
					Check Total:	18,019.00
30633	01/23/2012	General Fund	Refund Clearing Account -Parks	Harkirat Kaur	70.00	

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Amount
				Check Total:	70.00
30634	01/23/2012	General Fund	Memberships	Suburban Cities Association	26,680.07
				Check Total:	26,680.07
30635	01/23/2012	General Fund	Office and Operating Supplies	Seatown Locksmith	59.68
				Check Total:	59.68
30636	01/23/2012	Surface Water Management Fund	Professional services	Summit Security & Sound System	60.00
30636	01/23/2012	Street Fund	Professional Services	Summit Security & Sound System	60.00
				Check Total:	120.00
30637	01/23/2012	General Fund	Attorney Srvc - Litigation	St. of Washington	8.58
				Check Total:	8.58
30638	01/23/2012	General Fund	Utilities	Southwest Suburban Sewer Dist.	51.00
30638	01/23/2012	General Fund	Utilities	Southwest Suburban Sewer Dist.	70.00
30638	01/23/2012	General Fund	Utilities	Southwest Suburban Sewer Dist.	51.00
30638	01/23/2012	General Fund	Utilities	Southwest Suburban Sewer Dist.	89.00
30638	01/23/2012	General Fund	Utilities	Southwest Suburban Sewer Dist.	172.50
30638	01/23/2012	General Fund	Utilities	Southwest Suburban Sewer Dist.	357.00
30638	01/23/2012	General Fund	Utilities	Southwest Suburban Sewer Dist.	51.00
30638	01/23/2012	General Fund	Utilities	Southwest Suburban Sewer Dist.	129.00
				Check Total:	970.50
30639	01/23/2012	General Fund	Dues/memberships	Washington Finance Officers	100.00
				Check Total:	100.00
30640	01/23/2012	General Fund	Jury & Witness Fees	David Tully	11.02
				Check Total:	11.02
30641	01/23/2012	General Fund	Jury & Witness Fees	Jean Claude Valsaint	12.55
				Check Total:	12.55

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Amount
30642	01/23/2012	General Fund	Jury & Witness Fees	Rachel Russell	13.06
				Check Total:	13.06
30643	01/23/2012	General Fund	Office And Operating Supplies	Walter E. Nelson Co.	593.33
				Check Total:	593.33
30644	01/23/2012	Surface Water Management Fund	Telephone	Yes of Course, Inc.	80.08
30644	01/23/2012	Street Fund	Telephone	Yes of Course, Inc.	80.09
				Check Total:	160.17
				Report Total:	289,033.32

DRAFT

Burien
WASHINGTON

CITY COUNCIL MEETING MINUTES

January 9, 2012

Reception for Incumbents

6:30 p.m.

and

Council Meeting

7:00 p.m.

Burien City Hall

400 SW 152nd Street, 1st Floor

Burien, Washington 98166

To hear Council's full discussion of a specific topic or the complete meeting, the following resources are available:

- Watch the video-stream available on the City website, www.burienwa.gov
- Check out a DVD of the Council Meeting from the Burien Library

CALL TO ORDER

Mayor McGilton called the meeting of the Burien City Council to order at 7:00 p.m.

PLEDGE OF ALLEGIANCE

Mayor McGilton led the Pledge of Allegiance.

OATH OF OFFICE

The Oath of Office was administered by City Attorney Craig Knutson to Councilmembers-Elect Lucy Krakowiak, Bob Edgar and Jerry Robison.

ROLL CALL

Present: Councilmembers Brian Bennett, Rose Clark, Bob Edgar, Lucy Krakowiak, Joan McGilton and Gerald F. Robison. Councilmember Jack Block, Jr. was excused.

Administrative staff present: Craig Knutson, City Attorney; Janet Stallman, Executive Assistant; and Monica Lusk, City Clerk.

ELECTION OF MAYOR AND DEPUTY MAYOR

Election of Mayor

Direction/Action

The **Motion** to elect Councilmember Bennett as Mayor carried 4-2 as evidenced by a roll call vote. Opposed, Councilmembers Edgar and Krakowiak.

Election of Deputy Mayor

Direction/Action

The **Motion** to elect Councilmember Clark as Deputy Mayor carried 4-2 as evidenced by a roll call vote. Opposed, Councilmembers Edgar and Krakowiak.

AGENDA CONFIRMATION

Direction/Action

Motion was made by Deputy Mayor Clark, seconded by Councilmember Krakowiak to affirm the January 9, 2012, Agenda.

Motion was made by Councilmember Edgar, seconded by Councilmember Krakowiak to amend the agenda to add Review of Proposed Council Agenda Schedule.

Deputy Mayor Clark noted that three members would need to agree to amend the agenda. Councilmembers Edgar and Krakowiak agreed. Due to lack of a third member, the amendment failed.

PUBLIC COMMENT

Goodspaceguy, 10219 9th Avenue South, Seattle

Mr. Goodspaceguy asked that the City have no limit parking by removing the two hour parking signs.

The following people asked the Council to consider other options for animal control and to re-evaluate the current program.

Sherry Myers, 14437 12th Avenue SW, Burien

Dr. Leslie Kasper, 13426 12th Avenue South, Burien

City Attorney Craig Knutson noted that the motion on amending the Agenda Confirmation requires a vote.

Mayor Bennett called the motion back onto the table.

Motion was made by Councilmember Edgar, seconded by Councilmember Krakowiak to amend the agenda to add Review of Proposed Council Agenda Schedule. **Motion** failed 2-4 as evidenced by a roll call vote. Opposed, Mayor Bennett, Deputy Mayor Clark and Councilmembers McGilton and Robison.

A vote was taken on the main motion to affirm the January 9, 2012, Agenda. **Motion** passed 5-1. Opposed, Councilmember Krakowiak.

CONSENT AGENDA

- a. Approval of Vouchers: Numbers 30256 - 30519 in the Amounts of \$2,294,363.25.
- b. Approval of Minutes: Council Meeting, December 12, 2011.

Direction/Action

Motion was made by Deputy Mayor Clark, seconded by Councilmember Krakowiak and passed unanimously to approve the January 9, 2012, Consent Agenda.

BUSINESS AGENDA

No items were scheduled for the Business Agenda.

COUNCIL REPORTS

No reports were given.

ADJOURNMENT

Direction/Action

MOTION was made by Deputy Mayor Clark, seconded by Councilmember Krakowiak and passed unanimously to adjourn the meeting at 7:30 p.m.

Brian Bennett, Mayor

Monica Lusk, City Clerk

**CITY OF BURIEN
AGENDA BILL**

Agenda Subject: Presentation and discussion on the Parks, Recreation and Open Space (PROS) Plan.		Meeting Date: January 23, 2012
Department: Parks, Recreation and Cultural Services	Attachments: 1.Executive Summary 2.Plan Introduction 3.Full PROS Plan at: www.BurienWA.gov/ParksPlan	Fund Source: N/A Activity Cost: N/A Amount Budgeted: N/A Unencumbered Budget Authority: N/A
Contact: Steve Roemer		
Telephone: (206) 248-5513		
Adopted Work Plan Priority: Yes X No	Work Plan Item Description: Complete Parks, Recreation & Open Space Plan in order to maintain eligibility for state and federal funding for park acquisition and development.	
PURPOSE/REQUIRED ACTION:		
<p>The purpose of this agenda item is for Council to discuss the content of the PROS Plan and to provide comments, in preparation for possible action on February 13, Adopting the Plan.</p>		
BACKGROUND (Include prior Council action & discussion):		
<p>Burien last adopted its PROS Plan in 2006. As contemplated in the adopted 2011-2012 budget, the PROS Plan is in the process of being updated. The updated Plan will guide and support future park and recreation programming and parks capital improvement budgets. This update is also necessary to maintain the City's eligibility for certain grants from the Washington State Recreation Conservation Office (RCO), an important funding source for parks capital projects. On August 15, 2011 the Council received a presentation on the progress of the Plan and key findings from an initial community survey.</p>		
<p>Please see the attached Executive Summary and Introduction for the PROS Plan. Due to its size, the complete PROS Plan text is provided as a separate web link www.BurienWA.gov/ParksPlan.</p>		
<p>Proposed Adoption Schedule: February 6, 2012 – Council Meeting, Report back and hold discussion on PROS Plan. February 13, 2012 – Council Meeting, Action on Proposed Resolution to Adopt Recommended Plan.</p>		
OPTIONS (Including fiscal impacts):		
N/A		
Administrative Recommendation: Hold discussion on the Parks, Recreation and Open Space (PROS) Plan and provide comments, in preparation for placing on the February 6, 2012 Council agenda.		
Committee Recommendation: N/A		
Advisory Board Recommendation: The Parks and Recreation Advisory Board supports the draft PROS Plan and recommends approval by Council following review and comments.		
Suggested Motion: None required at this time.		
Submitted by: Michael Lafreniere Administration _____ City Manager _____		
Today's Date: January 17, 2012	File Code: \\File01\records\CC\Agenda Bill 2012\012312ParkPROSplan.doc	

Executive summary

Burien has grown and changed since the last comprehensive Park, Recreation, and Open Space (PROS) Plan was accomplished by the city in 2006.

The choices that confront Burien at the present time are significant and could alter the character and quality of park, recreation, and open space facilities and services if not adequately planned.

This PROS document outlines the choices that are available and the means for implementing preferred actions of most benefit to Burien residents. Following are the major findings and recommendations - see the referenced chapter or appendix for more details.

1 Approach

This plan analyzed the supply, demand, and need for public and private open space, trail, and park facilities and recreation services within Burien's corporate boundaries.

The proposed implementation strategies are the result of this comprehensive or holistic analysis. Generally, the proposed strategies recommend Burien focus its resources where open space, trail, park, and recreation facilities and recreation needs are most critical, and Burien resources will be most effective.

2 Inventory implications - Appendix B

- **Burien and other public and private agencies have amassed an impressive amount of acreage** - that includes every conceivable kind of parkland and recreational facility within or adjacent the city's corporate limits.
- **Almost every kind of park, recreation, and open space land** - is presently provided by Burien and other public and private agencies within the city's service area.
- **A significant portion of the inventory are regional facilities** - that are used by populations who reside outside of Burien service area boundaries even though the maintenance and operation of these sites has been financed by the city.

3 Opportunities - Appendix C

- **Strategically important sites** - are owned or controlled by the Port of Seattle, nonprofit agencies, and private commercial operators with every kind of physical and socially valuable park, recreational, and open space characteristic.
- **A valuable park, recreation, and open space system includes lands that may not be suitable for built uses** - and developed recreational facilities, but which can provide unique preserves, habitats, cultural, and historical associations. These combined social and physical attributes provide a balanced dimension to the park and recreation experience.
- **A quality park and recreation system does not have to be implemented strictly by public monies or purchase** - but by the creative interplay of public and private market resources using a variety of techniques including leases, easements, tax incentives, design and development innovations, and enlightened private property interests. Future parks, recreation, and open space acquisition strategies may use traditional purchase options as well as cost effective alternative.

4 Future growth - Appendix D

The Washington State Office of Financial Management (OFM) and the Burien Community Development Department expect the population of the city within currently annexed boundaries will increase from 47,660 persons in 2010 to an estimated 51,362 persons by the year 2025 - or by 3,702 or 7.8% more persons. The population total could increase further if the city annex's additional lands to the north of the current city boundary.

Most of this projected increase will come from the in-migration of households to live and work in Burien's urban center. The projected growth will be significant and will increase demand for park, recreation, and open space resources city-wide.

Burien/Burien ELOS value

	2011 supply	value
Land acres	364.5	\$ 44,580,500
Facility units	58,527	29,890,866
Total		\$ 74,471,366
/capita		\$ 1,562
/household*		\$ 3,891

* Household of 2.49 persons per unit

Burien/Burien ELOS (existing level-of-service) requirement 2008-2025

	2011 supply	2025 deficit	2025 cost
Land acres	364.5	28.3	\$ 3,462,799
Facility units	58,527	4,546	\$ 2,321,779
Total cost			\$ 5,784,578

Under the existing level-of-service (ELOS) for Burien-owned park land and facilities in the city, the forecasted population increase will create a city-wide need for an additional 28.3 acres of land and 4,546 facility units (square feet, courts, fields, etc.) by the year 2025.

The continuation of the city's existing level-of-service (ELOS) could require an expenditure of \$5,784,578 by the year 2025 simply to remain current with present standards - not accounting for any maintenance, operation or repair costs.

The approximate cost of sustaining the city's existing level-of-service (ELOS) standard would be equal to about \$1,562 per every new person added to the city's population or about \$3,891 for every new housing unit. **This assumes Burien would continue to maintain the same ratio of parklands and facilities for the future population that the city has in the past.**

Composite PLOS (proposed level-of-service) requirement 2012-2025

	2011 supply	2025 addns	2025 cost
Land acres	364.5	86.5	\$6,125,000
Facility units	58,527	69,708	\$42,731,019
Total cost			\$48,856,019
Burien cost			\$32,974,675
Burien %			67%

Under the composite agencies proposed level-of-service (PLOS) for all public and privately-owned park land and facilities in the city, the forecasted population increase will create a city-wide proposal for an additional 86.5 acres of land and 69,708 facility units (square feet, courts, fields, etc.) by the year 2025. **This**

assumes these agencies would supplement the existing inventory as described within this chapter rather than simply extending the same ratios into the future.

The realization of the composite agencies proposed level-of-service (PLOS) for the city could require a total of \$48,856,019 by the year 2025 - not accounting for any maintenance, operation or repair costs. **Based on the project proposals described in the plan chapters, Burien's park, recreation, and open space share of the cost would be \$32,974,675 or 67%.**

Built encroachments

However, if these proposals are not realized soon the present trend of increasing developments may:

- **encroach upon** - or preclude the preservation and public accessibility of the more sensitive and appealing environmental sites, particularly those proposed for cross city trail corridors and additional sensitive land preservations along riparian corridors and shorelines, and
- **develop** - or otherwise preclude the purchase and development of close-in, suitable lands for playgrounds, picnic shelters, waterfront access, and other neighborhood facilities.

Forcing city residents to:

- **use crowded** - picnic areas, and hike and bike on crowded trails,
- **commute to play** - at overcrowded existing facilities in the city and/or organized athletic programs may have to be reduced for local youth, and
- **commute to use** - available facilities in other jurisdictions regional and/or programs may have to be curtailed to prevent severe overcrowding conditions in the facilities that do provide such services.

Such actions would be to the detriment of city residents who have paid the costs of developing and operating these facilities.

5 Financial implications – Appendix D

These levels of facility investment may not be solely financed with the resources available to Burien if the city pursues an independent delivery approach or uses traditional methods of funding.

Burien will not be financially able to develop, manage, and maintain a comprehensive, independent park, recreation, and open space system using only traditional financing methods in light of the needs projected.

These needs require a city-wide financing approach by Burien and where appropriate in partnership with Highline School District, as well as possible non-profit or for-profit partners.

A city-wide approach may use a combination of shared user fees, excise taxes, joint grant applications, impact fees, and voter approved property tax levies to maintain and improve facilities in the face of continued city population increases.

6 Role recommendations – Chapter 2

This plan recommends Burien undertake a modified strategic approach to open space, trail, park, and recreation facilities and recreation services where Burien assumes responsibility for functions of citywide interest where there are no other viable sponsors, and helps coordinate or support functions and activities that have other viable sponsors. For example:

Coordinating activities

Burien will take the lead role in providing information and coordinating services for open space, trail, park facilities, and recreation program activities on a citywide basis.

Burien's role will include updating future population growth estimates, inventorying existing and proposed facility developments, identifying probable citywide and local neighborhood facility and program needs, and proposals of citywide facility and program solutions.

Planning and development assistance

Burien will provide detailed planning and development assistance when:

- there are no other designated agencies or organizations who can, or
- the activity involves site controversies or environmental consequences that may not be equitably resolved otherwise within the Burien service area.

Development, operation and maintenance

Burien will develop, operate or maintain open space, trail, park, or recreational facilities or recreation program activities provided:

- the facility will have broad benefits for a large proportion of the citywide population and will be financed using resident approved methods, or
- facility development and operating costs will be recaptured from direct charges of the populations who use the facility, or
- facility development and operating costs will be compensated in some manner through inter-local agreements with the using agency, area or benefiting user group, particularly where the demands will originate from a community service requirement, or
- the site or facility has intrinsic value apart from traditional operation and maintenance needs, such as a passive natural area or wetland preservation.

The following goals and objectives are based on a strategic approach to citywide services, an analysis of existing open space, trail, park, and recreation conditions, and the results of workshop planning sessions and surveys.

7 Recreational programming clearinghouse – Chapter 3

Burien will operate an internet web-based clearinghouse coordinating recreational program offerings that include as wide a variety of activities as there is an interest by city residents, regardless of age, skill level, income - or program provider.

Recreation program offerings that could be offered through the clearinghouse will include activities providing health, education, social, recreational, and other welfare activities for children, teens, adults, seniors, and special populations.

To the extent possible, practical, and consistent with the city's mission, programs will be conducted by city staff or contractors. However, depending on demand, cost, and feasibility, the clearinghouse will also coordinate with programs to be conducted by other public, non-profit, or for-profit organizations and even vendors.

To the extent possible and practical, program offerings will include activities that will be

conducted in city parks, trails, and facilities. However, depending on demand, the clearinghouse will also include program offerings that may be conducted in schools and other public facilities inside or out of the city, as well as at non-profit and for-profit sites and facilities.

Vision

The internet web-based recreational clearinghouse may be realized through the coordination of:

- Burien programs - where there is sufficient demand to meet Burien's park and recreation mission and pricing and delivery objectives;
- other jurisdictions - including Highline School District, King County, Port of Seattle, SeaTac, Seattle, and Normandy Park;
- nonprofit organizations - such as the Environmental Science Center, Evergreen Aquatics Center, YMCA, Kiwanis Club's Camp Schoenwald, Burien Cooperative Preschool, Paras Los Ninos, Highline Little Theater and Hi-Liners, Highline Community College and Bridge School, Glendale Lutheran School, St Francis Assisi ES, St Bernadette Parish, JK Kennedy High School, Gregory-Seahurst Swim Club, Normandy Park Swim Club, Arbor Heights Swim Club, and others; and
- private for-profit entities and vendors - such as the Highline Athletic Club, Hiline Lanes Bowling, and others.

8 Development plans - Chapter 4-5

The proposals outlined in this document concerning elements of the open space, trail, and park plan are based on the results of environmental inventories, field analysis, demand analysis, workshop planning sessions, and the mail-back/internet surveys of resident households. The proposals outline the vision developed for open space, trails, and parks within Burien for the next 20 years.

The proposals are CONCEPTUAL, in some instances, subject to further study and coordination with public and private participants that may modify the eventual project particulars.

The proposals are described referring to a site or property that may provide a major type of open space, trail, or park activity. Any particular site or property may include one or all of the described element plan features. The proposals in each section describe the improvements that

will be accomplished under each major type of plan element - see each plan element for a composite description for any particular site.

See Chapter 5 describing the current condition of each park and conservancy property, along with possible future improvements.

9 Mail-back/internet survey - Appendix F

A random sample was conducted of resident voter households in Burien in November 2011 to participate in a controlled survey concerning park, recreation, and open space needs and priorities. The survey results are accurate to within +/-7% of the opinions of the general population.

The results of the mail-back/internet survey indicate resident city voters will support the projects and programs indicated in the survey and chapters 3-6 of this document.

Approximately 57% of the respondents will also support a special property tax levy as an optional means of financing parks, recreation, and open space improvements for specific projects or the programs in general.

Under this proposal, City Council could submit a special dedicated property tax levy for voter approval to finance acquisition, development, operation, and maintenance of all city parks, recreation, and open space improvements and programs.

The property tax levy would provide a continuous, dedicated source of funds with which to finance all requirements over a specified levy period (typically in 6-year increments).

10 Recommendations - Appendix E

A feasible 6 and 15-year Burien financial strategy lies between alternative 2 and 3 where:

- General Fund and other revenue contributions - from the property tax contribution would decline an average -2.0% per year as a result of proposition 747 or the 1% tax limitation,
- Recreation cost recovery - would average between 75-80% of all direct and indirect costs
- Growth impact fee - would be adopted to capture between 60%-75% of the \$1,562 cost per

person of maintaining Burien's existing level-of-service (ELOS) standards through additional population increases equal to \$937-1,172 per person or \$2,333-2,917 per dwelling unit where the typical unit averages 2.49 residents,

- Real Estate Excise Tax (REET) 1 & 2 - which would allow two \$0.0025 increments per \$1.00 of sales value would provide between 50-60% of the annual proceeds be devoted to park capital development,

- Property tax levy lid lift - would be sought to finance remaining costs necessary to realize combined administration, recreation programs, swimming pool operations, park maintenance, deferred renovations, and the city's portion of the combined proposed level-of-service (PLOS) standard equal to an annual property tax levy payment of between \$17.71-13.33 per \$100,000 house value for 6 years.

If the amount of monies provided from the General Fund are increased (through a levy lid lift), then the amounts that must be generated from recreation program cost recovery, growth impact fee assessments, REET allocations, and a special duration property tax levy may be lower.

Conversely, if the amount of monies provided from the General Fund is lower than the reducing -2% allocation and the amounts to be generated from recreation program cost recovery, growth impact fee assessments, REET allocations, and a special duration property tax levy is also lower;

- ***then some or most of the proposed level-of-service (PLOS) enhancements will have to be reduced - or extended beyond the next 6 and 20-year programming time period.***

Chapter 1: Introduction

Burien has grown and changed since the last comprehensive Park, Recreation, and Open Space (PROS) Plan was accomplished by the city in 2006.

The choices that confront Burien at the present time are significant and could alter the character and quality of open space, trail, and park facilities, and recreation programs and services if not adequately planned.

This document outlines the choices that are available and the means for implementing preferred actions found to be of most benefit to Burien residents.

1.1 Objectives

The specific objectives of this planning effort were to:

- **Define the setting** - in Burien including climate, environment, wildlife habitat, history, culture, population changes, and current development conditions.
- **Inventory assets** - including existing public and private open spaces, park and recreation facilities, and recreational services that have been developed to-date by Burien, King County, Highline School District, Port of Seattle, adjacent cities of SeaTac and Normandy Park, and private non-profit and for-profit organizations.
- **Forecast demand** - for future open space, trails, park, and recreation facilities and recreation services that may be provided by Burien or other agencies.
- **Identify appropriate roles and responsibilities** - that should be undertaken by Burien to meet critical open space, trail, park,



and recreation facilities and recreation program needs.

- **Develop the elements of a city-wide plan** - for open space, trails, park, and recreation facilities and recreation programs including wildlife habitat and conservation areas, open spaces and natural resource areas, trails, athletic fields and facilities, indoor community and recreation centers, and other special purpose facilities.
- **Determine costs and standards** - involved in maintaining and/or improving open space, trails, park, and recreation facilities and recreation program levels-of-service (LOS), particularly the possible use of innovative financing tools or methods.
- **Define an implementation program** - outlining the actions necessary to realize the plan including supporting actions necessary to resolve agreements with the county, school district, port, and other private non-profit and for-profit agencies.
- **Determine public opinion** - through a series of public participation events and resolve final project, plan, and financing particulars based on the results of public input.

1.2 Approach

This study analyzed the supply, demand, and need for public and private open space, trail, and park facilities and recreation services within Burien's current corporate limits.

The proposed implementation strategies are the result of this comprehensive or holistic analysis. Generally, the proposed strategies recommend Burien focus its resources where open space, trail, park, and recreation facilities and recreation needs are most critical, and Burien resources will be most effective.

1.3 Public involvement

The Burien Parks, Recreation & Cultural Services Department staff and Park & Recreation Board oversaw this planning process. During the course of the planning program, Burien conducted a series of:

- **Internet surveys** - of city residents to determine their knowledge, use, condition

assessments, and plan proposals prior to the initiation of this planning process.

- ***Hand-out/hand-back survey*** - of Burien school students to determine their current park and program utilization, program and park priorities.
- ***Public workshops and forums*** - with recreation provider agencies and city residents to brainstorm their ideas for open space, trails, park, and recreation facilities; and to review and critique the resulting brainstorm proposals prior to the development of final plan alternatives.
- ***Mail-out/mail-back and internet survey of registered voter households*** - towards the end of the process to determine final voter household project and program priorities from among the alternative proposals, and resolve financing preferences with which to implement this plan.

The proposals contained within this document represent the opinions developed from these public participation events.

1.4 Documentation

This report is organized into 6 chapters outlining goals and objectives, recreation program strategies, detailed plan elements, specific park property exhibits, and implementation measures.

Separate technical appendices detailing the community setting, existing facility inventories, park opportunities, land and facility demands, finances, and public opinion are available from the Burien Park, Recreation & Community Services Department.



**CITY OF BURIEN
AGENDA BILL**

Agenda Subject: Review of Hearing Examiner's Findings, Conclusions and Recommendation on a Type 3 Land Use Review for the Redevelopment of Fire Station No. 29 (135 South Normandy Road)		Meeting Date: January 23, 2012
Department: Community Development	Attachments: 1. Proposed Resolution No. 327 with Exhibit A-Hearing Examiner's Findings, Conclusions and Recommendation and Exhibit B-Type III Land Use Review Staff Recommendation to the Hearing Examiner	Fund Source: N/A Activity Cost: N/A Amount Budgeted: N/A Unencumbered Budget Authority: N/A
Contact: Stephanie Jewett, AICP Planner		
Telephone: (206) 439-3152		
Adopted Work Plan Priority: Yes No <input checked="" type="checkbox"/>	Work Plan Item Description: N/A	
<p>PURPOSE/REQUIRED ACTION: The purpose of this agenda item is for the Council to review the Hearing Examiner's Findings, Conclusions and Recommendation on a Type 3 Land Use Review for the redevelopment of Fire Station No. 29 and consider adopting a resolution granting approval of the Type 3 Land Use Review.</p> <p>BACKGROUND (Include prior Council action & discussion): The proposal is to remove the existing fire station and replace it with a two-story 18,850 square foot station with three apparatus bays, a maintenance bay, training classroom and sleep rooms for 6 fire fighters. Other site development includes surface parking for approximately 18 vehicles, landscaping, a running trail, stormwater improvements and an emergency generator and fire engine fueling station. Vehicle access is proposed from Occidental Avenue South and a new traffic emergency light signal is proposed at South Normandy Road and Occidental Avenue South.</p> <p>The Hearing Examiner conducted an open record public hearing on December 8, 2011. On December 21, 2011, the Hearing Examiner issued findings, conclusions, and a recommendation to the City Council to approve the Type 3 Land Use Review with conditions (see Exhibit A of proposed Resolution No. 327).</p> <p>The Council's role in all Type 3 decisions is to review and take action on the Hearing Examiner's recommendation. The City Council's decision on a Type 3 Land Use Review application must be based on the record developed by the Hearing Examiner, which includes his recommendation. Since this is a "quasi-judicial" proceeding, Council members should not discuss this pending land use application with opponents or proponents of the proposal. This type of contact is called "Ex Parte Contact" and it may violate the Appearance of Fairness doctrine. By passing proposed Resolution No. 327, the City Council will grant approval of the Type 3 Land Use Review application for the redevelopment of Fire Station No. 29 with recommended conditions. The resolution will also adopt the findings of fact and conclusions as set forth by the Hearing Examiner.</p> <p>OPTIONS (Including fiscal impacts):</p> <ol style="list-style-type: none"> 1. Approve the application (Adopt proposed Resolution No. 327). 2. Approve the application with modifications (Adopt proposed Resolution No. 327 with modifications). 3. Deny the application 4. Remand the application to the Hearing Examiner for an additional hearing on specific issues. <p>For options 2 or 3, the Council must also adopt written findings of fact and conclusions to support the decision.</p>		
Administrative Recommendation: Adopt proposed Resolution No. 327, entering findings of fact and conclusions of law and granting approval of the Fire Station No. 29 Type 3 Land Use Review.		
Committee Recommendation: N/A		
Advisory Board Recommendation: N/A		
Suggested Motion: Move to adopt Resolution No. 327, granting conditional approval of a Type 3 Land Use Review for the redevelopment of Fire Station No. 29, and adopting findings of fact, conclusions and conditions as set forth by the Hearing Examiner.		
Submitted by: Stephanie Jewett, AICP, Planner		
Administration _____	City Manager _____	
Today's Date: January 17, 2012	File Code: R:\CC\Agenda Bill 2012\012312cd-1 Fire Station No. 29 Type 3 Land Use Review.docx	

CITY OF BURIEN, WASHINGTON

RESOLUTION NO. 327

**A RESOLUTION OF THE CITY OF BURIEN, WASHINGTON,
ENTERING FINDINGS OF FACT AND CONCLUSIONS AND
CONDITIONALLY APPROVING A TYPE 3 LAND USE REVIEW
FOR THE REDEVELOPMENT OF FIRE STATION NO. 29**

WHEREAS, the City of Burien Hearing Examiner conducted an open record public hearing on December 8, 2011, at which testimony from city staff, the applicant and public was heard regarding Fire Station No. 29 Type 3 Land Use Review; and

WHEREAS, on December 21, 2011 the Hearing Examiner made a recommendation to the City Council to approve the Fire District No. 29 Type 3 Land Use Review, based on the findings of fact and conclusions set forth in the attached Exhibit A and the conditions set forth in the attached Exhibit B;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF BURIEN, WASHINGTON, DOES RESOLVE AS FOLLOWS:

Section 1. The City Council, having considered the Fire Station No. 29 Type 3 Land Use Review application and the Hearing Examiner's recommendation, conditionally approves the Fire Station No. 29 Type 3 Land Use Review and adopts the Hearing Examiner's findings of fact and conclusions attached as Exhibit A and the conditions attached as Exhibit B.

Section 3. Effective Date. This Resolution shall take effect immediately upon passage by the Burien City Council.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF BURIEN, WASHINGTON, AT A REGULAR MEETING THEREOF THIS 23rd DAY OF January, 2012.

CITY OF BURIEN

Brian Bennett, Mayor

ATTEST/AUTHENTICATED:

Monica Lusk, City Clerk

Approved as to form:

Craig D. Knutson, City Attorney

Filed with the City Clerk:
Passed by the City Council:
Resolution No.

**CITY OF BURIEN
HEARING EXAMINER
FINDINGS, CONCLUSIONS AND RECOMMENDATION**

APPLICANT: Paul Berry, Harris & Associates for King County Fire District #2

CASE NO.: PLA 11-1289

LOCATION: 135 South Normandy Road, Burien, WA

APPLICATION: Request to remove an existing fire station and replace it with a two-story 18,850 square foot station with 18 parking stalls, landscaping, running trail, and stormwater improvements (see Exhibit A and attachments).

REVIEW PROCESS: Hearing Examiner conducts an open record hearing and makes a recommendation to the City Council, who then makes the final decision.

SUMMARY OF RECOMMENDATIONS

Staff Recommendation: Approve with conditions

Hearing Examiner Recommendation: Approve with conditions

PUBLIC HEARING

After reviewing the official file, which included the Staff Recommendation; and after visiting the site, the Hearing Examiner conducted a public hearing on the application. The hearing on the Fire District #2 application was opened at 2:00 p.m., December 8, 2011, in City Hall, Burien, Washington, and closed at 2:40 p.m. Participants at the public hearing and the exhibits offered and entered are listed in this report. A verbatim recording of the hearing is available in the Community Development Department.

Hearing Comments:

The following is a summary of the comments offered at the public hearing.

From the City

Stephanie Jewett, Planner: Provided descriptions of the project location and site, vehicular access, and surrounding land uses and zoning. Described and discussed the various elements of the project and how the project met requirements such as landscaping, parking,

site access and circulation, and stormwater. Her comments are fully represented in Exhibit A.

From the Applicant

Paul Berry: Concurred with staff's analysis and recommended conditions. He noted such things as how the new building would be set back further into the lot, there will be a small meeting room that will be available to the local community, and that the new station was part of a district-wide upgrade of facilities. Mr. Berry responded to several question regarding use of the running track, nature of landscaping, the stormwater holding pond, and duration of construction.

From the Community

David Woodin
Lloyd Whisman

Both individuals had questions regarding several features of the project. These included how extensively the running track would be used, how landscaping was being handled, concerns about the stormwater holding pond, concerns about tree roots getting into adjacent properties drainage systems, and the timing and duration of construction. Mr. Berry provided answers to their questions and concerns.

FINDINGS OF FACT AND CONCLUSION

1. The Facts presented in the Site Description on page 3 in Exhibit A, Staff Recommendation, December 8, 2011, accurately reflects the site circumstances, zoning requirements and land use, and are hereby adopted by reference.
2. The Fact and Conclusion regarding compliance with a Type III application on pages 4 and 5 in Exhibit A, Staff Recommendation, December 8, 2011, is accurate and hereby adopted by reference.
3. The Facts and Conclusion regarding compliance with Development Regulations on pages 5 through 13, Exhibit A, Staff Recommendation, December 8, 2011, are accurate and are hereby adopted by reference. In particular, they include the following:

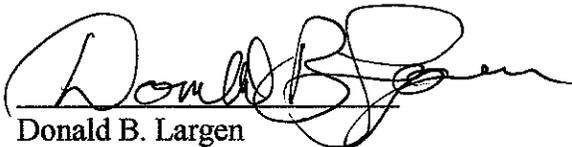
General Compliance	page 5
Zoning Code Compliance	page 6
SEPA Compliance	page 6
Significant Tree Retention	pages 6 & 7
Landscaping Requirements	pages 7 & 8
Parking	pages 8 & 9
Street and Access Improvements	pages 9 & 10
Surface Water Management	pages 10 & 11
Utilities	page 12
Aquifer Recharge Area	pages 12 & 13

4. The Facts and Conclusions regarding compliance with THE Comprehensive Plan on page 13 in Exhibit A, Staff Recommendation, December 8, 2011, are accurate and are hereby adopted by reference.

RECOMMENDATION

Based upon the foregoing findings and conclusions, it is recommended that the request for a construction of a new fire station be approved, subject to the recommended conditions found on pages 1 & 2 of Exhibit A.

Entered this 21st day of December, 2011.



Donald B. Lergen
Hearing Examiner

CITY COUNCIL REVIEW AND DECISION

The City Council will take final action on this application in accordance with the provisions of BMC 19.65.075.

JUDICIAL REVIEW

The following is a summary of the deadlines and procedures for judicial review.

BMC 19.65.060 allows the city's final decision to be appealed by filing a land use petition in King County Superior Court. Such petition must be filed within 21 days after issuance of the decision, as provided in RCW 36.70C. Requirements for fully exhausting City administrative appeal opportunities must first be fulfilled.

EXHIBITS

The following exhibits were offered and entered into the record:

- A. Staff Recommendation to the Hearing Examiner with attachments dated November 21, 2011.

PARTIES OF RECORD

Paul Berry & Debra Alvarez
Harris & Associates
2104 SW 152nd Street, Ste.#2
Burien, WA 98166

Community Development Department
Public Works

David Woodin
177 South Normandy Road
Burien, WA 98148

Lloyd Whisman
18025 2nd Place South
Burien, WA 98148



CITY OF BURIEN, WASHINGTON

Department of Community Development
400 SW 152nd Street, Suite 300, Burien, Washington 98166
Phone: (206) 241-4647 Fax: (206) 248-5539

**TYPE III LAND USE REVIEW
STAFF RECOMMENDATION TO THE HEARING EXAMINER
Fire Station No. 29**

DATE: November 21, 2011

FILE NO.: PLA 11-1289

APPLICANT: Paul Berry, Harris & Associates for King County Fire District #2

REQUEST: Type 3 Land Use and SEPA review for the redevelopment of Fire Station No. 29

LOCATION: 135 S. Normandy Road, Burien, WA (see Attachment 1)

PARCEL: 3223049165

APPLICATION
SUBMITTED: July 25, 2011

APPLICATION
COMPLETE: August 12, 2011

REVIEW
PLANNER: Stephanie Jewett, AICP

DECISION
MAKER: City Council

RECOMMENDATION: **Approve subject to the following conditions:**

1. It is the responsibility of the Applicant to ensure compliance with the various provisions contained in the Burien Municipal Code (including but not limited to the Zoning Code, Building Code and Fire Code), the 2009 King County Surface Water Design Manual and the 2008 Burien Road Standards. Attachment 2, Development Requirements, is provided in this report to familiarize the Applicant with some of the additional requirements that may apply to the project. This attachment does not include all of the additional requirements. When a condition of approval below conflicts with a development requirement in Attachment 2, the condition of approval shall be followed (see Conclusion E.1).

2. All site development plans submitted for the project shall indicate those significant trees to be preserved and shall include all tree protective measures as outlined in BMC 19.25 (see Conclusion E.4).
3. Prior to issuance of any development permits, the Applicant shall:
 - a. Submit a signed written agreement between the property owner of 18016 Occidental Avenue and Fire District #2 to remove and replace the trees located on the property addressed 18016 Occidental Avenue as shown in the submitted plans (see Conclusion E.4).
 - b. Submit lighting plans indicating that the parking area lighting will be designed to minimize direct illumination of abutting properties and adjacent streets (see Conclusion E.6).
 - c. Submit detailed access and frontage improvement plans for the project, including curb, gutter and sidewalks for review and approval by the City's Public Works Department. The plans shall be in accordance with the 2008 Burien Road Standards and address the issues expressed in the City's Development Review Engineer's memorandum dated November 15, 2011 (see Conclusion E.7).
 - d. Submit detailed stormwater improvement plans designed in accordance with the 2009 King County Surface Water Design Manual as adopted by the City, for review and approval by the City's Public Works Department. The Plans shall address the issues expressed in the Development Review Engineer and Surface Water Management Engineer memorandums dated October 26, 2011 and November 15, 2011 (see Conclusion E.8).
 - e. Submit plans indicating that the above ground diesel storage tank and vehicle maintenance bay will be constructed to comply with the City's Aquifer Recharge Area requirements (see Conclusion E.10).
4. Prior to any work within the South Normandy Road or Occidental Avenue South right-of-ways, the Applicant shall apply for a right-of-way use permit (see Conclusion E.7).
5. Prior to final inspection and issuance of an occupancy permit, the Applicant shall:
 - a. Install the required landscaping and irrigation system consistent with the approved plans (see Conclusion E.5)
 - b. Provide the Community Development Department a security to insure proper establishment and maintenance of the required landscaping for a period of 2 years following installation (see Conclusion E.5).
 - c. Install the surface water management facilities as required and provide approved performance and maintenance bonds or other security methods as required by the Public Works Department (see Conclusion E.8)

FINDINGS OF FACT & CONCLUSIONS

A. SITE DESCRIPTION

Location: 135 S. Normandy Road, Burien, WA (see Attachment 1)

Zoning: RS-7,200 Single-family residential

Critical Areas on or within 100 feet of site: Aquifer Recharge Area

Site area: 74,100 square feet (1.7 acres)

Current land use: The existing fire station occupies the north portion of the site.

Site characteristics: Topographically the subject site slopes down approximately 16 feet from the southeast corner to the northwest corner. The existing fire station is located on the north portion of the site. Vegetation on the site consists of grass, scattered trees and shrubs.

Neighborhood characteristics: The western boundary of the site fronts onto Occidental Avenue South and single family homes zoned for residential single family use (RS 7,200) are located on the western side of the street. The northern boundary of the site fronts onto South Normandy Road and single-family homes zoned for single family use (RS 7,200) and a medical/dental office and gas station zoned Community Commercial-1 are located on the northern side of the street. Single family homes zoned for single-family use (RS 7,200) are located adjacent to the eastern and southern boundaries of the site.

B. SUMMARY OF PROPOSAL (see Attachment 3 for plans)

The proposal is to construct a 2-story fire station of approximately 18,850 square feet with three apparatus bays, maintenance bay, training classroom and sleep rooms for 6 firefighters. The existing fire station occupies the north portion of the site and will be demolished after the new station is constructed. Other site development includes surface parking for approximately 18 vehicles, landscaping, a running trail, stormwater improvements and an emergency generator and fire engine fueling station. Primary vehicle access is proposed from Occidental Avenue South and a traffic emergency light signal is proposed at South Normandy Park Road and Occidental Avenue South.

C. PUBLIC AND AGENCY COMMENT

1. Public Comments

- a. **Facts:** Public notice of the application was posted on the property and mailed to property owners within 500 feet of the site on August 23, 2011 and published in the Seattle Times on August 25, 2011. The 21-day comment period ended on September 15, 2011. No comments were received during the 21-day comment period.
- b. **Conclusions:** Public comment requirements have been addressed for the proposal.

D. APPROVAL CRITERIA

1. **Facts:** Burien Municipal Code Section 19.65.075 (7) C sets forth the decision criteria for a Type III decision. The City Council may only approve the application if all of the following criteria (in *italics*) are met:

- a. *The application must be consistent with all applicable development regulations and, to the extent there is no applicable development regulation, the Comprehensive Plan.*

Staff Response: As conditioned, the proposed development addresses all of the required development standards. See Section E of this report for a detailed review of applicable development regulations.

- b. *The application must be consistent with the purpose and intent of the zone in which the site is located.*

Staff Response: The purpose and intent of the Single-Family Residential zone is stated in BMC 19.15.010 as follows:

The Single-family residential zones implement the Low and Medium Density Single-Family Neighborhood Comprehensive Plan designations. The purpose of these zones is to establish areas in which a wide range of single-family housing opportunities can be provided, while preserving the character of the surrounding neighborhood and protecting environmentally sensitive areas. The intent is to provide a variety of attractive, well-designed housing choices that meet the needs of existing and future City residents.

The use zone chart for the RS zones (BMC 19.15.00.13) lists those uses which are considered to be consistent with the purpose and intent of the RS zone. BMC 19.15.005 lists "Government Facility" as a permitted use following a Type 3 land use review. The proposed development addresses the purpose and intent of the Single-Family Residential zone.

c. *The application must be consistent with the public health, safety and welfare.*

Staff Response: The public health, safety and welfare are protected by adhering to and enforcing the City's development regulations. As conditioned, the proposed development addresses all of the City's required development regulations. See Section E of this report for a detailed review of applicable development regulations.

2. Conclusions: With the required conditions of approval, the proposal complies with Zoning Code section 19.65.075 (7) C.

- a. The proposal, as conditioned, is consistent with all applicable development regulations and, to the extent there is no applicable development regulation, the Comprehensive Plan.
- b. The proposal is consistent with the purpose and intent of the zone in which it is located.
- c. The proposal, as conditioned, is sufficient to protect the public health, safety and welfare.

E. DEVELOPMENT REGULATIONS

1. General Compliance

- a. Facts: This application is subject to the applicable requirements contained in the Burien Municipal Code (including but not limited to the Zoning Code, Building Code and Fire Code), the 2009 King County Surface Water Design Manual as adopted by the City of Burien and the 2008 City of Burien Road Standards. Except as noted in the following sections, the proposal complies with the applicable requirements contained in the documents referenced above.
- b. Conclusion: It is the responsibility of the Applicant to ensure compliance with the various provisions contained in the Burien Municipal Code (including but not limited to the Zoning Code, Building Code and Fire Code), the 2009 King County Surface Water Design Manual as adopted by the City of Burien and the 2008 City of Burien Road Standards. Attachment 2, Development Standards, is provided to familiarize the applicant with some of the additional requirements that may apply to the project. This attachment does not include all of the additional requirements. When a condition of approval conflicts with a development requirement in Attachment 2, the condition of approval shall be followed.

2. Zoning Code Use Chart Compliance (BMC 19.15.005.13)

a. Facts:

Regulation	Requirement	Proposal	Complies?
Front Setback	30 feet	70-100 feet	Yes
Interior setbacks	30 feet	30-90 feet	Yes
Building Coverage	35 %	18 %	Yes
Impervious Surface Coverage	70 %	52 %	Yes
Height	35 feet	34 feet 4.5 inches	Yes

b. Conclusion: The proposed project complies with the height, bulk and scale requirements for "Government Facilities" in the RS-7,200 zone found in BMC 19.15.005.13.

3. State Environmental Policy Act

- a. Facts: A Determination of Nonsignificance (DNS) was issued for this project on November 21, 2011. Per BMC 19.65.075.2, if the Director's recommendation to the Hearing Examiner is consolidated with a threshold determination of non-significance under the State Environmental Protection Act for which a comment period pursuant to WAC 197-11-340 must be provided, the appeal period for the DNS shall be 14 days. The Environmental Review Report, Environmental Checklist and Determination of Nonsignificance are included as Attachments 6, 7 and 8.
- b. Conclusions: The Applicant and City of Burien have complied with the requirements of the State Environmental Policy Act.

4. Significant Tree Retention

- a. Facts: The site is required to retain 5 percent of the significant trees located on the site (BMC 19.25.120). Significant trees are defined as an existing healthy tree which, when measured four feet above grade, has a minimum diameter of eight inches for evergreen trees or twelve inches for deciduous trees (BMC 19.10.493).

There are 27 existing significant trees on the site. The Applicant submitted a Tree Retention Plan that proposes to retain 6 (or 22%) significant evergreen trees located along the east boundary of the site (see Attachment 3, Sheet L0.0).

The submitted Tree Retention Plan also indicates that 18 significant trees (16 evergreen and 2 deciduous) located on the property immediately adjacent to the southern boundary are also planned to be removed (see Attachment 3, Sheet L0.0). The Landscape Plan

(Attachment 3, Sheet L2.3) shows that there are plans to replace these trees with 16 evergreen trees. The Applicant has indicated that the property owner has verbally consented to the removal and replanting of the trees.

- b. **Conclusions:** The significant tree retention plan meets the City's significant tree retention requirements. All site development plans submitted for the project shall indicate those significant trees to be preserved and shall include all tree protection necessary as outlined in BMC 19.25. Prior to building permit approval, the Applicant shall submit a signed written agreement between the property owner of 18016 Occidental Avenue and Fire District #2 to remove and replace the trees located on the property addressed 18016 Occidental Avenue as shown in the plans (see Attachment 3, Sheet L0.0 & Sheet L2.3).

5. Landscaping Requirements

a. **Facts:**

- (1) BMC section 19.15.005 (13) requires the proposal to comply with landscape Category C.
- (2) Category C landscaping requires 10 ft of Type III landscaping along property lines abutting a public right-of-way. Type III landscaping is intended to function as a "see-through-screen" that functions as a partial visual separator to soften the appearance of parking areas and building elevations. The Applicant's submitted Landscape Planting Plan (Attachment 3, Sheets L2.1- 2.5) indicates that plantings of 10 ft or greater of Type III landscaping will be installed along the property line abutting South Normandy Road. The Planting plan does not propose landscaping along the entire property line abutting Occidental Avenue South due to the location of the driveways for the fire engines and onsite parking area. Consistent with BMC 19.25.090, this request complies with the City of Burien's landscaping requirement given that additional landscaping is proposed along the northern and eastern property lines.
- (3) Category C landscaping requires 5 feet of Type IV landscaping along building facades greater than 50 ft. wide. Type IV landscaping is intended to provide visual relief. The planting plan (Attachment 3, Sheets L2.1 - 2.5) indicates that plantings of 5 ft or greater of Type IV landscaping will be installed along most of the facades of the building. The Planting plan does not propose landscaping directly adjacent to most of the western façade due to the location of the garage doors for the fire engines. Consistent with BMC 19.25.090, this request complies with the City of Burien's landscaping requirements given that additional landscaping is proposed along the northern and eastern facades of the Fire Station building (see Attachment 3, Sheets L2.1 - 2.5).
- (4) Category C landscaping requires a 5-foot wide Type IV landscape strip along the perimeter of parking areas and additional interior landscaping at a rate of twenty

square feet per parking stall. Type IV landscaping is intended to provide shade and visual relief while maintaining clear sight lines within parking areas. The planting plan (Attachment 3, Sheets L2.1 - 2.5) indicates that this required parking area landscaping is deficient by 473 square feet along the northern and eastern sides of the parking area. Consistent with BMC 19.25.090 this request complies with the City of Burien's landscaping requirements given that additional landscaping is proposed to the north and west of the parking area and a 4 foot high chain link fence with screening slats as well as planted climbing vines is proposed along the northern and eastern sides of the parking area to provide additional screening.

- (5) BMC 19.25.100 requires installation of irrigation systems within all required landscaped areas. The proposal indicates that all required landscaped areas will be irrigated (Attachment 3, Sheets L3.1 & 3.2).
 - (6) BMC 19.25.180 requires a performance bond or other appropriate security for the planting of required landscaping to insure proper installation, establishment and maintenance for a period of two years.
- b. Conclusion: The proposed preliminary landscaping plan meets the City's requirements. Prior to final inspection and issuance of an occupancy permit, the landscaping and irrigation system shall be installed consistent with the approved plans and a security shall be required to insure proper establishment and maintenance of the required landscaping for a period of two years.

6. Parking

- a. Facts: The redevelopment is required to comply with BMC 19.20.030 (2) which states that when specific parking ratios are not provided the Director shall establish a minimum parking requirement based on a study of anticipated parking demand. The Applicant submitted a Parking Demand Analysis and two follow-up emails (see Attachment 9) consistent with City requirements. The analysis estimates that:
 - 13 on-site parking spaces are needed to accommodate overlap parking during shift changes and projected on-site training sessions.
 - 5 additional parking spaces will be needed for public, walk-in visitor use for services such as free drop-in blood pressure checks.

The submitted Site Plan (see Attachment 3, Sheet A2) proposes 18 parking stalls along the north portion of the site to meet this anticipated parking demand.

BMC 19.20.100 (5) sets forth the minimum dimensional requirements for parking spaces and parking lot aisles. The submitted plans (see Attachment 3 Sheet C-2) show that the parking stall and aisle dimensions generally comply with the City's requirements. Parking stall and aisle dimensions will also be reviewed at the time of building permit application.

BMC 19.20.040 (6) requires off-street parking and access for physically handicapped persons to be provided. The plans submitted propose 1 handicapped stall.

BMC 19.20.100 (12) states that parking area lighting shall be provided for safety of traffic and pedestrian circulation on the site. It shall be designed to minimize direct illumination of abutting properties and adjacent streets. In the SEPA checklist (see Attachment 6) the Applicant proposes to minimize the direct illumination of abutting properties and adjacent streets by providing landscape screening and "cut-off" parking lighting designed to prevent light from impacting any off site property. The Applicant has not submitted a proposed lighting plan for the site. Lighting plans will be reviewed at the time of building permit application.

- b. Conclusions: In general, the parking as proposed meets the City's parking requirements. Parking stall and aisle dimensions will also be reviewed at the time of building permit application. Prior to issuance of any development permits, the Applicant shall submit lighting plans indicating that the parking area lighting will be designed to minimize direct illumination of abutting properties and adjacent streets.

7. Street & Access Improvements:

- a. Facts: The City of Burien has adopted the 2008 Burien Road Standards. The Applicant applied for and received a Road Standards Variance Request from the Department of Public Works for the use of a single driveway width of 172.85 feet along Occidental Avenue South for apparatus and parking area access (see Attachment 14). The Development Review Engineer reviewed the proposed project for conformance with these standards and issued a set of comments in a memorandum dated November 15, 2011 (see Attachment 4) including, but not limited to, the following:
 1. The plans show the turning wheel path(s) for the fire apparatus. The direction of travel is not identified, but we assume the lines shown are for vehicles exiting the station. Similar diagrams shall be provided for vehicles entering the station. We have several concerns regarding the turning radius for this station:
 - i. It does not appear that the inside wheel path is shown at the station for either the southbound or northbound exit from the station.
 - ii. The design for frontage improvements identifies two 12-foot travel lanes, with a paved shoulder on the west side of Occidental Avenue and a vertical curb and gutter on the east side. The wheel paths on the drawings appear to show the outside wheel in the gutter and the inside wheel on the road centerline. If the fire apparatus is truly 12 feet wide, then the travel lanes should be wider to avoid collisions with other vehicles.

- iii. Channelization for Normandy Road, including the emergency signal stop bars, shall be shown on the drawings, with the wheel paths overlaid so a complete understanding of the apparatus' travel path can be evaluated.
 2. The plans indicate that Occidental Avenue will be signed "No Parking" on the west shoulder across from the station. We presume this is to accommodate the wide turning radius required for the fire apparatus. We assume that residents of these two homes are accustomed to parking in front of their homes; therefore, the applicant should identify where the homeowners might park. Otherwise, enforcement may become a problem.
 3. We have noted that the access gate to the storm pond is approximately 12 feet from the edge of the pavement. If a maintenance vehicle were to stop in the driveway to open the gate, it may protrude into the travel lane. Since no striping is shown on the drawings, we are unsure where the travel lane is proposed.
 4. The Applicant shall be required to sign a Concomitant Agreement to not protest any future Local Improvement Districts for future urban frontage and drainage improvements along Normandy Road. The agreement shall be recorded and run with title to the property.
- b. Conclusions: Street and frontage improvements for the project shall be designed in accordance with the 2008 Burien Road Standards, subject to final review and approval by the City Public Works Department prior to building permit issuance. Prior to building permit approval, the Applicant shall address the comments of the Development Review Engineer in the memorandum dated November 15, 2011 (see Attachment 4). Prior to any work within South Normandy Road or Occidental Ave South, the Applicant shall apply for a Right-of-Way use permit, as required by BMC 12.11 and 12.18.

8. Surface Water Management

- a. Facts: BMC 13.10.020 adopts the 2009 King County Surface Water Design Manual (KCSWDM) as the City of Burien's drainage control regulation. The Development Review Engineer and Surface Water Management Engineer both reviewed the proposed project, including the submitted preliminary Technical Information Report (TIR) prepared by Warner Engineering (Attachment 10), for conformance with the KCSWDM and issued comments (Attachments 4 & 5), including, but not limited to the following comments related to surface water requirements:
 1. The TIR correctly describes the site as requiring Level 2 Flow Control plus basic water quality treatment and source control.
 2. The TIR shall include the flow duration curves, indicating the pre- and post-development flows for each facility and at the point of compliance. Based on the

computer printouts, it appears the pond design meets the Level 2 flow control requirements; however, the curves must be included in the TIR.

3. It would be helpful if the TIR included a summary table of the pre-developed and developed areas for each land cover type, including the bypass areas.
 4. At the time the TIR was prepared, Section III indicates that the downstream field inspection had not been performed. This inspection must be included in the TIR. We believe the downstream storm system lies within the City of Normandy Park's right-of-way of 1st Avenue. It may be prudent to inquire the condition of the drainage system from their public works staff.
 5. The plans do not include design details for the pond and control structure. This information shall be provided.
 6. The TIR identifies that the site resides within the South King County Groundwater Management Area, but that the soils on the eastern part of the site are not suitable for infiltration (glacial till), and the west portion consists of outwash soils. The TIR shall address how the project may be affected by the South King County Ground Water Management Area regulations should it be discovered during construction that the soils in the pond area are permeable. The geotechnical studies for the site should be included in the TIR.
 7. It appears that the properties located to the east and south of the site naturally drain onto the project site. The plans should indicate how this runoff will be collected and conveyed through the property in the future. Future development of these parcels may require an easement through the site, as the right to drain for those properties cannot be impede by the downstream property.
 8. It appears that the frontage improvements along Occidental Avenue will create a significant amount of new impervious area within the existing right-of-way. This conversion to impervious surface should be indicated in the land use cover table as part of the bypass area.
- b. Conclusions: Storm water improvements for the project shall be designed in accordance with the 2009 King County Surface Water Design Manual as adopted by the City, subject to final review and approval by the City Public Works Department prior to building permit issuance. Prior to building permit approval the Applicant shall address the comments of the Development Review Engineer and Surface Water Management Engineer in the memorandums dated October 26, 2011 and November 15, 2011 (see Attachments 4 and 5). Prior to final inspection and issuance of an occupancy permit, the Applicant shall install the required surface water management facilities and provide approved performance and maintenance bonds or other security methods as required by the Public Works Department.

9. Utilities

a. Facts:

- (1) Fire District #2 provides fire protection to the area. The Fire Marshal approved the development for water flow, hydrant spacing and fire department access (see Attachment 11)
- (2) Highline Water District provides water service to the site. According to the Certificate of Water Availability (see Attachment 12), an existing 8 inch diameter water main on Occidental Avenue and 12 inch diameter water main on South Normandy Park Road are available to serve the redevelopment (see Attachment 12).
- (3) SW Suburban Sewer District provides sanitary sewer service. According to the Certificate of Sewer Availability (see Attachment 13), provision of sewer service will be provided through a side sewer stub connection to an existing 8-inch main (see Attachment 13).

- ### b. Conclusion: Fire, Water and Sewer Services will adequately serve the proposed development.

10. Aquifer Recharge Area

a. Facts: The City's Critical Areas Map indicates the site is located in an "Aquifer Recharge Area".

- (1) The proposal includes an above ground diesel fuel storage tank. The City's Zoning Code regulates the location of above ground hazardous material storage tanks within Aquifer Recharge Areas (BMC 19.40.430.F) and requires the following:
 - i. An impervious containment area enclosing or underlying the tank.
 - ii. A secondary containment system either built into the tank structure or a dike system built outside the tank. The secondary containment system or dike system must be designed and constructed to contain the material stored in the tank, have a capacity of at least 110 percent of the primary tank and conform to the requirements of the Uniform Fire Code.
- (2) The proposal includes a maintenance bay for the maintenance of the emergency vehicles. The City's Zoning Code regulates vehicle washing, repair and servicing in an "Aquifer Recharge Area" (BMC 19.40.430.C & G) and requires the following:
 - i. Vehicle washing must be self contained or be discharged to a sanitary sewer system

- ii. Vehicle repair and servicing must be conducted over impermeable pads and within a covered structure.
 - iii. No dry wells shall be allowed on sites used for vehicle repair and servicing.
- b. Conclusion: As proposed, the above ground diesel fuel storage tank and vehicle maintenance bay appear to meet the City's Aquifer Recharge Area regulations. Prior to building permit approval the Applicant shall submit plans indicating that the above ground diesel storage tank and vehicle maintenance bay will be constructed to comply with the Aquifer Recharge Area requirements (BMC 19.40.430).

E. COMPREHENSIVE PLAN

- a. Facts: The subject property is designated as "*Moderate Density Residential Neighborhood*" on the City's Comprehensive Plan map. Burien Comprehensive Plan Policy RE 1.6 states that the "*Moderate Density Residential Neighborhood*" designation allows for single family residential uses, their accessory uses and public and semi-public uses. Considering the Fire Station is a public facility, the proposed redevelopment is consistent with the land use designation.
- b. Conclusion: The proposed development is consistent with the land use designation and therefore complies with the Comprehensive Plan.

APPEALS

BMC 19.65.060 allows the City's final decision to be appealed by filing a land use petition in King County Superior Court. Such petition must be filed within 21 days after issuance of the decision, as provided in RCW 36.70C.

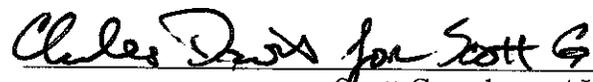
ATTACHMENTS

1. Vicinity map
2. City of Burien Development Standards
3. Proposed Plans
4. Comment Memo from Ramesh Davad, City of Burien Development Review Engineer, dated November 15, 2011
5. Comment Memo from Huengkook Lim, City of Burien Stormwater Engineer, dated October 26, 2011
6. SEPA Checklist
7. Environmental Review Report
8. Determination of Nonsignificance
9. Off-street Parking Demand Analysis, Reid Middleton, dated June 28, 2011
10. Preliminary Technical Information Report, Warner Engineering, dated June 11, 2008
11. Certificate of Fire Hydrant Availability (King County Fire District #2, July 21, 2011)
12. Certificate of Water Availability (Highline Water District, April 14, 2011)
13. Certificate of Sewer Availability (Southwest Suburban Sewer District, April 4, 2011)
14. Road Standards Variance, dated November 2, 2011

PARTIES OF RECORD

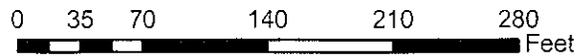
Name	Address
Paul Berry, Harris & Associates Applicant	2104 SW 152 nd St. Suite #2 Burien, WA 98166
King County Fire Protection District #2 Property Owner	15100 8 th Avenue SW Burien, WA 98166

Dated this 21st day of November, 2011


Scott Greenberg, AICP
Director of Community Development



Vicinity Map
Fire Station #29 Redevelopment
PLA 11-1289



THE CITY OF BURIEN DISCLAIMS ANY WARRANTY OF FITNESS OF USE FOR A PARTICULAR PURPOSE EXPRESS OR IMPLIED WITH RESPECT TO THIS PRODUCT.

CITY OF BURIEN DEVELOPMENT REQUIREMENTS

King County Fire District #2 Burien Fire Station 29
File No. PLA 11-1289

Regulatory Requirements

It will be necessary to further analyze certain aspects of the proposal to determine if the project complies with all applicable City and State codes and policies. That analysis is most appropriately addressed during building permit review. At a minimum, the following Burien Municipal Code Chapters and State laws will be analyzed during building permit review.

RCW 70.94 Addressing dust mitigation during construction

BMC 12.05 Addressing road standards and referencing the Burien Road Design and Construction Standards.

BMC 12.17 and 12.18 A right-of-way permit will be required for work in the right of way.

BMC 12.40 Undergrounding of Utilities Addressing requirement that all utility lines on a site must be undergrounded. All existing overhead utility lines in the right-of-way adjacent to the site must be undergrounded unless the Public Works Director determines that this is infeasible. If this is infeasible, the property owner must sign a concomitant agreement for future undergrounding.

BMC 13.10.020 Addressing surface water design standards and referencing the 2009 King County Surface Water Design Manual.

BMC 15 Addressing building and construction

BMC Title 19 Zoning Code

19.17.120(1) (D) Building Height Measurement Methods.

Compliance with the height limit shall be determined by:

- i. Field verification by building official or designee of the establishment of the bench mark for a topographic map, if applicable,
- ii. Review of building permit plans,
- iii. Field verification at the completion of building framing

On sloping lots or when the structure is within two feet of the height limit, certification by a licensed surveyor is required.

On all other structures, verification by the building official or designee is required at the time of the framing inspection.

19.17.290(1) Fences.

Fences exceeding a height of six feet shall comply with the applicable street and interior setbacks of the zone in which the property is located.

19.17.240 Sight distance requirements

19.20 Parking and circulation

19.20.040.6 Off-street parking and access for physically handicapped persons shall be provided in accordance with the **International Building Code**, Chapter 11 Accessibility.

19.20.090.3 Pedestrian walkways shall comply with City of Burien development standards and meet the following minimum design standards:

- B. Access and walkways shall be a minimum of 5-feet of unobstructed width and meet City standards for surfacing of walkways.

19.20.100.1 Off-street parking shall be located on the same site as the development served by the parking.

2. Access between off-street parking areas and abutting public streets shall be designated, located and constructed in accordance with City of Burien development standards
8. Any parking areas abutting a landscaped area on the driver or passenger side of the vehicle shall provide an additional 18 inches above the minimum space width requirement to provide a place to step other than in the landscaped area.
9. Parking space depth may be reduced up to 18 inches when vehicles overhang a walkway if the remaining walkway provides a minimum of 60 inches of unimpeded passageway for pedestrians.
12. Parking area lighting shall be provided for safety of traffic and pedestrian circulation on the site, as required by the **International Building Code**. It shall be designed to minimize direct illumination of abutting properties and adjacent streets. The Director shall have the authority to waive the requirement to provide lighting.

19.20.110 Off-street parking construction standards

19.20.130 Parking area maintenance

19.25.080 Landscaping-general requirements

General requirements pertaining to specie size, specie type, fence location, cast in place concrete curbs required, soil augmentation and mulch coverage.

19.25.100 Landscaping-irrigation

Landscaping irrigation is required.

19.25.110 Landscaping-installation

Landscaping shall be installed prior to issuance of a final occupancy permit.

19.25.150 Landscaping-significant trees-protection

2. An area of prohibited disturbance, generally corresponding to the drip line of the significant tree shall be protected during construction with a temporary five-foot-high chainlink or plastic net fence. The fencing shall be installed prior to issuance of development permits for the site.
3. No impervious surfaces, fill, excavation, or storage of construction materials shall be permitted within the area defined by such fencing.

19.25.170 Landscaping-maintenance

1. All landscaping and significant trees shall be maintained for the life of the project.
2. All landscape materials and significant trees shall be pruned and trimmed as necessary to maintain a healthy growing condition or to prevent primary limb failure;
3. With the exception of dead, diseased or damaged trees specifically retained to provide wildlife habitat, other dead, diseased, damaged or stolen planting shall be replaced within three months or during the next planting season if the loss does not occur in a planting season; and
4. Landscape areas shall be kept free of trash.

19.30 Signs

All building signage proposed shall meet the requirements of the sign code chapter and more specifically of the zone in which the property is located.

19.70.020 General requirements

All new development proposals shall be adequately served by the following facilities and services:

- a. Sewage disposal
- b. Water supply
- c. Surface water management
- d. Roads and access
- e. Fire protection service

19.70.030 Adequate sewage disposal

All new development shall be served by an adequate public or private sewer disposal system.

19.70.040 Adequate water supply

All new development shall be served by a public or private water supply system.

19.70.050 Surface water management

All new development shall be served by an adequate surface water management system approved by the City as being consistent with the design, operating and procedural requirements of the **2009 King County Surface Water Design Manual**.

19.70.100 Adequate vehicular access

All new development shall be served by adequate vehicular access including access to direct access to a public or private street that meets city road standards or an alternative acceptable to the city engineer; or the property has access to an acceptable street by a private driveway approved by the city. Access locations shall intersect with existing and anticipated streets at safe and convenient locations as determined by the City as being consistent with the design, operating and procedural requirements of the **2008 Burien Road Standards**.

19.70.110 Adequate fire protection

All new development shall be served by adequate fire protection including a water supply system that provides at least minimum fire flow and road system that provide life safety/rescue access.



BURIEN / NP STATION 29
135 S. Normandy Road
Burien, Washington

Project Number: 2008072.02
Land Use Permit
ISSUED: 07/01/11
REVISIONS

LAYOUT PLAN

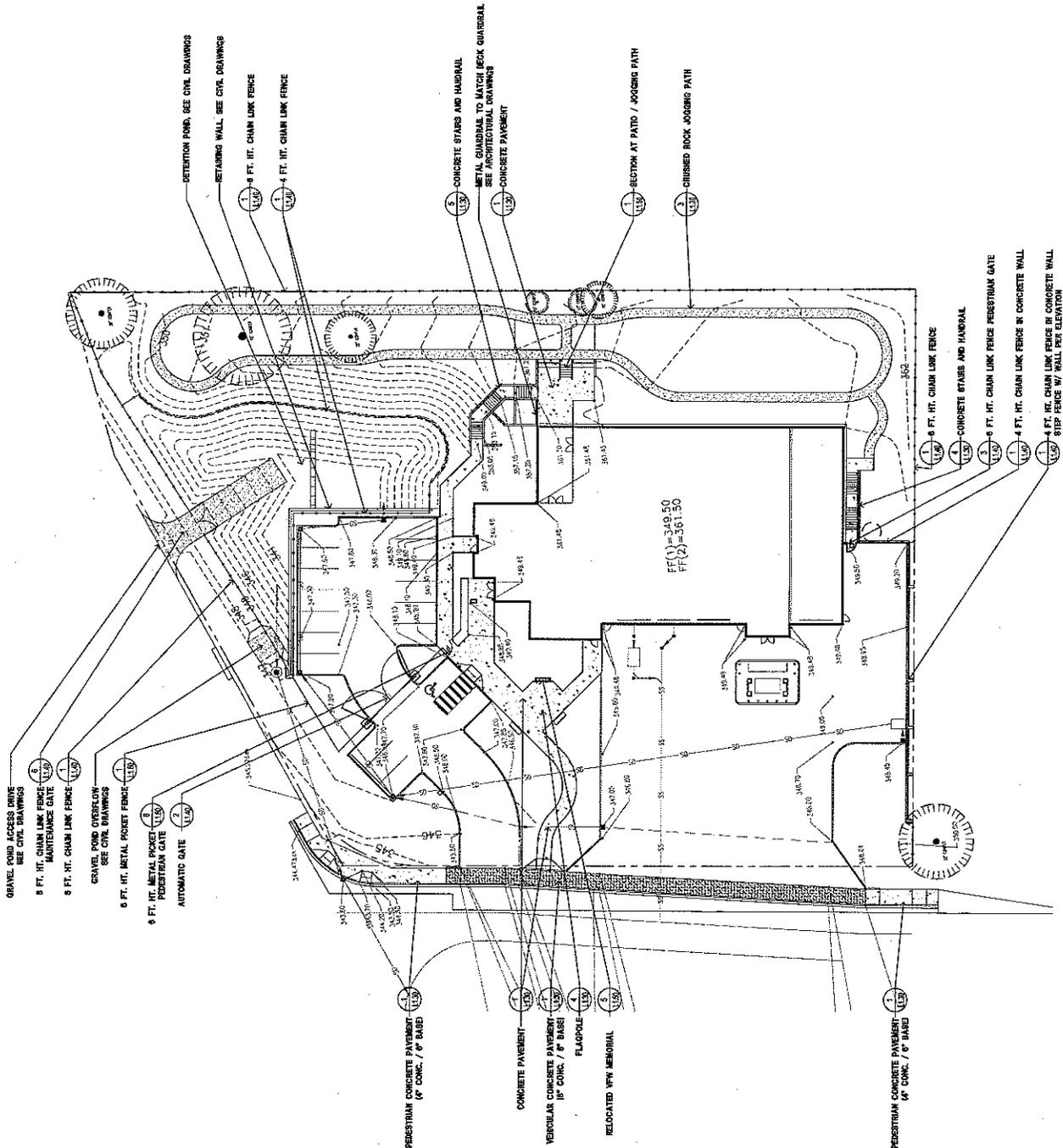
SHEET:
L1.10

LAYOUT LEGEND

SYMBOL	DESCRIPTION
[Symbol]	VEHICULAR CONCRETE PAVEMENT (8" CONC. / 6" BASE)
[Symbol]	PEDESTRIAN CONCRETE PAVEMENT (4" CONC. / 4" SUB-BASE / 6" GRANULAR)
[Symbol]	CRUSHED ROCK SURFACING
[Symbol]	BENCH PER SPEC. PROVIDER (S)
[Symbol]	CHAIN LINK FENCE (HEIGHT AS NOTED)
[Symbol]	CHAIN LINK PEDESTRIAN GATE
[Symbol]	METAL POCKET PEDESTRIAN GATE
[Symbol]	METAL POCKET AUTOMATIC GATE
[Symbol]	METAL POCKET FENCE

LAYOUT NOTES

- SEE CIVIL SHEETS FOR LAYOUT OF ALL VEHICULAR PAVEMENT, SITE WALLS, CURBS, STORM DRAINAGE FACILITIES, AND OTHER SITE UTILITIES.
- SEE ARCHITECTURAL SHEETS FOR BUILDING LAYOUT.
 - SEE SHEET 1.9 FOR LOCATIONS OF PLANTED AREAS AND EXISTING PLANTS TO REMAIN.
 - PRESERVE AND PROTECT ALL EXISTING ITEMS, INCLUDING PLANTINGS OUTSIDE OF THE UNIT OF WORK.





BURIEN / NP STATION 29
135 S. Normandy Road
Burien, Washington

Project Number: 2002912.02

Land Use Permit

ISSUED: 07/01/2011

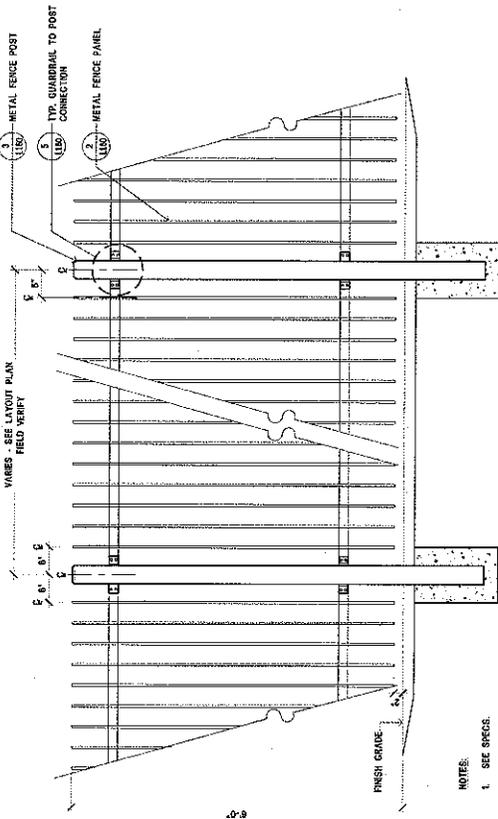
REVISIONS

SCALE

SITE DETAILS

SHEET

L1.60



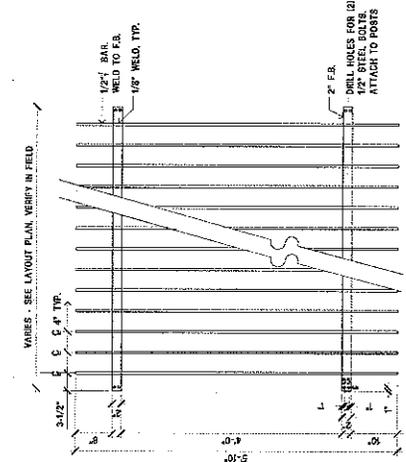
VARIES - SEE LAYOUT PLAN, FIELD VERIFY

VARIES - SEE LAYOUT PLAN, VERIFY IN FIELD

NOTES:

1. SEE SPEC.
2. SUBMIT SHOP DRAWINGS FOR APPROVAL.
3. INSTALL TRUE & PLUMB.
4. VERIFY LOCATION AND DIMENSIONS PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
5. COORDINATE WITH GATE INSTALLATOR AND OTHER RELATED WORK.

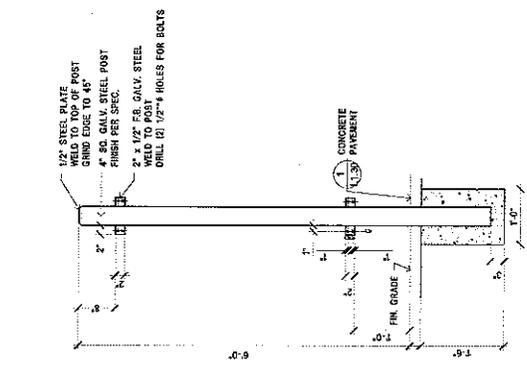
1 METAL PICKET FENCE
SCALE: 1"=4'-0"



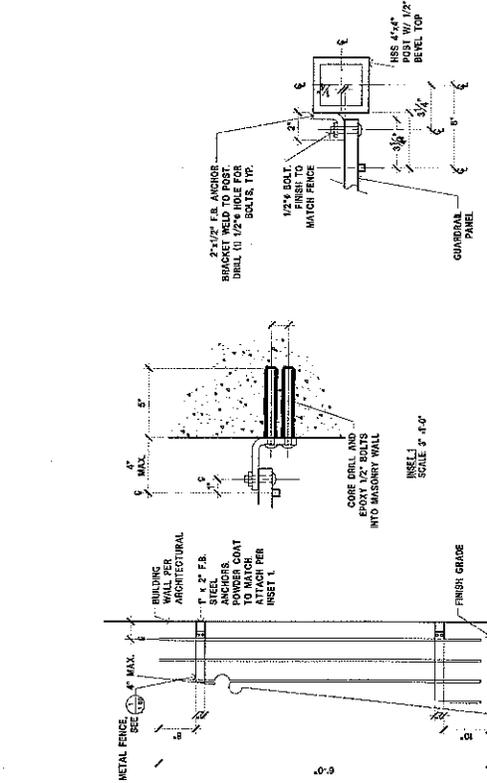
VARIES - SEE LAYOUT PLAN, VERIFY IN FIELD

VARIES - SEE LAYOUT PLAN, VERIFY IN FIELD

2 METAL PICKET FENCE PANEL
SCALE: 1"=4'-0"



3 METAL PICKET FENCE POST
SCALE: 1"=4'-0"



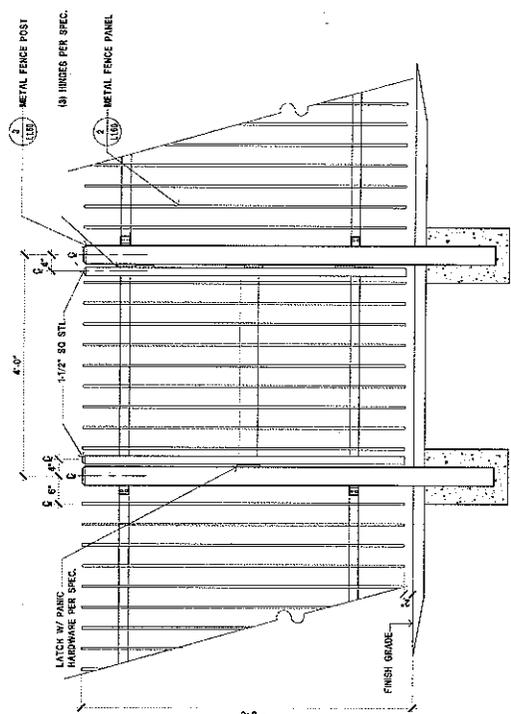
VERIFY MEASUREMENTS IN FIELD

VERIFY MEASUREMENTS IN FIELD

NOTES:

1. SEE SPEC.
2. SUBMIT SHOP DRAWINGS FOR APPROVAL.
3. INSTALL TRUE & PLUMB.
4. VERIFY LOCATION AND DIMENSIONS PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
5. COORDINATE WITH GATE INSTALLATOR AND OTHER RELATED WORK.

4 METAL PICKET FENCE CONNECTION AT BUILDING
SCALE: 1"=4'-0"



6 METAL PICKET FENCE PEDESTRIAN GATE
SCALE: 1"=4'-0"

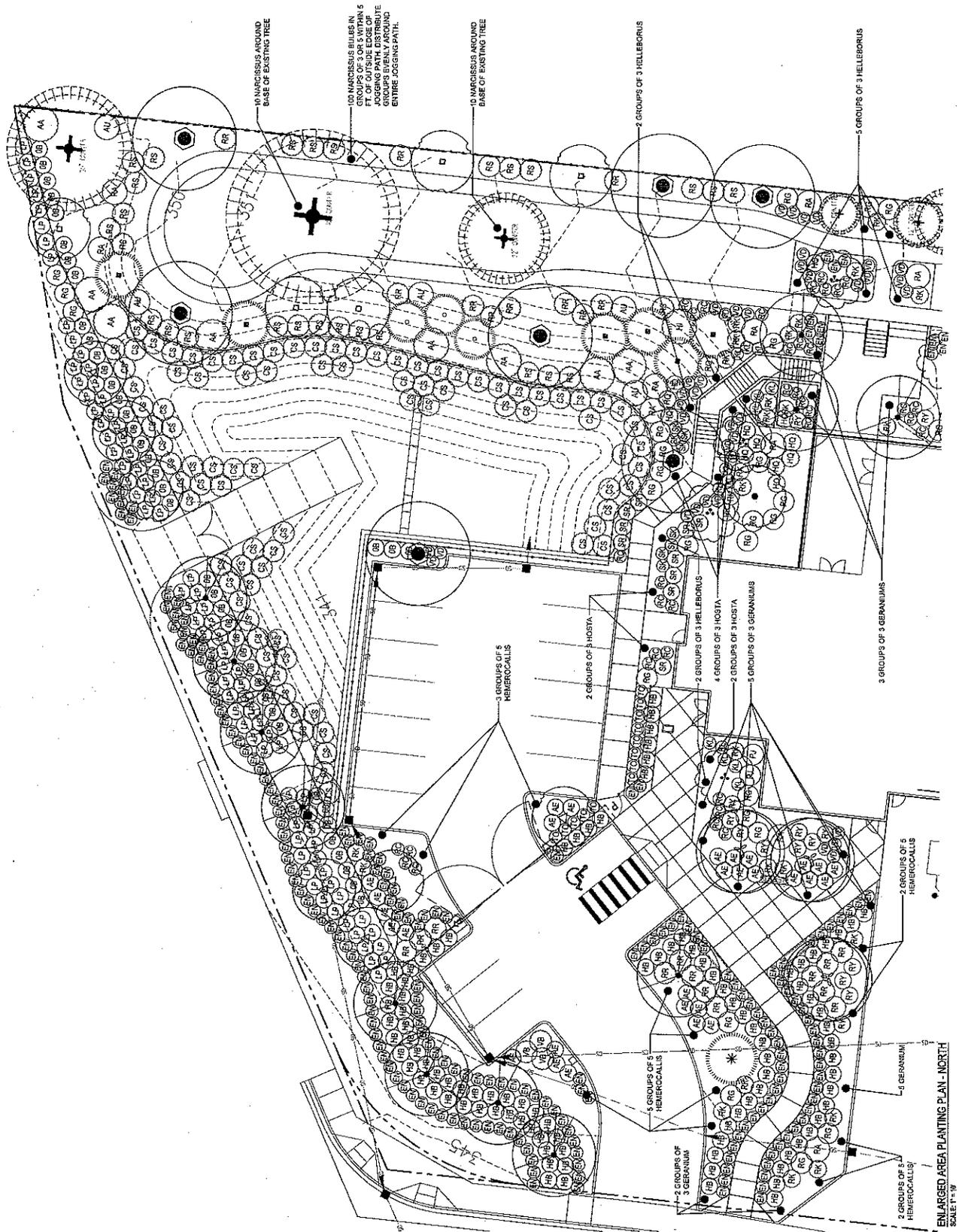


BURIEN / NP STATION 29
135 S. Normandy Road
Burien, Washington

Project Number: 2008072.02
Land Use Permit:
ISSUED: 07/01/2011
EXPIRES: 07/01/2017

ENLARGED AREA
PLANS - PLANTING

SHEET:
L2.20





BURIEN / NP STATION 29
 135 S. Normandy Road
 Burien, Washington

Project Number: 2008012.02
 Land Use Permit
 LSI#ED: 07/01/2011
 REVISIONS

PLANTING NOTES & SCHEDULE

SHEET: **L2.40**

PLANTING NOTES

- VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. NOTIFY OWNERS REPRESENTATIVE OF ANY CONFLICTS.
- STAKE LOCATIONS OF ALL NEW TREES AND TRANSPORTED PLANT MATERIALS FOR APPROVAL AND ORIENT TREES AS DIRECTED PRIOR TO PLANTING. PRIOR TO PLANTING SHRUBS AND GROUNDCOVERS, SET PLANTING POSITIONS AND LOCATIONS AND ADJUST PLACEMENT IN FIELD AS DIRECTED.
- PROTECT AND PRESERVE ALL EXISTING VEGETATION TO REMAIN. DO NOT DRIVE MACHINERY OVER EXISTING TREES OR PLANT BEDS. DRIFTLINES, INCLUDING TREES LOCATED OUTSIDE THE LIMIT OF PLANT BEDS, SHALL BE IN ACCORDANCE WITH MINIMUM SIZES AND TYPES IDENTIFIED IN THE PLANT SCHEDULE.
- ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH MINIMUM SIZES AND TYPES IDENTIFIED IN THE PLANT SCHEDULE.
- PRUNE EXISTING AND NEW VEGETATION ONLY AS DIRECTED BY OWNERS REPRESENTATIVE.
- PLANT BEDS AND SEEDS ARE TO BE WATERED WITH AN AUTOMATIC OR A TEMPORARY IRRIGATION SYSTEMS AND SHALL BE IRRIGATED. SEE SHEETS L2.19 AND L2.20. SOO AT DETENTION POND WILL NOT BE IRRIGATED.
- SEE SPECIFICATIONS FOR LAWN AND PLANT BED PREPARATION. INSTALL MINIMUM 6" DEPTH TOPSOIL AND 2" DEPTH ORGANIC MULCH IN PLANT BEDS, AND MINIMUM 5" DEPTH TOPSOIL IN SEED SOO AREAS.
- GROUNDCOVERS SHALL BE PLANTED THROUGHOUT THE PLANT BEDS. ALL PLANT BEDS SHALL BE COVERED WITH MULCH, SHRUBS AND TREES UNLESS OTHERWISE NOTED ON SHEETS L2.19 AND L2.20.

TOPSOIL PREPARATION NOTES

- ESTABLISH A 10" MINUS SUBGRADE IN ALL PLANT BED AREAS AND 8" MINUS SUBGRADE IN ALL SEED OR SOODED LAWN AREAS.
- TILL SUBGRADE TO A 4" DEPTH.
- INSTALL UNCOMPACTED TOPSOIL TO AN 8" DEPTH AFTER SETTLEMENT. THE TOPSOILS TO BE COMPOSED OF BLENDED MIX OF 40% COMPOST, 20% SAND, AND 40% SANDY LOAM.
- INSTALL 2" OF MULCH IN ALL PLANT BEDS.

SEED MIX NOTES

- SOO SHALL BE 60% PERENNIAL RYEGRASS AND 40% FESCUE. WATER TO REQUIREMENTS OF THE KING COUNTY SURFACE WATER CONTROL DISTRICT. SEE SHEETS L2.19 AND L2.20 FOR INSTALLATION SPECIFICATIONS.
- SEEDED MEADOW SHALL BE 60% PERENNIAL RYEGRASS AND 40% FESCUE.

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME / COMMON NAME	QTY.	MIN. SIZE	REMARKS	DROUGHT RESISTANT OR TOLERANT	SYMBOL	BOTANICAL NAME / COMMON NAME	QTY.	MIN. SIZE	REMARKS	DROUGHT RESISTANT OR TOLERANT
1	ADONIS BLUE	18	2 cal.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	1	ADONIS BLUE	18	2 cal.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y
2	ADONIS BLUE	6	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	2	ADONIS BLUE	6	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y
3	ADONIS BLUE	7	2 cal.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	3	ADONIS BLUE	7	2 cal.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y
4	ADONIS BLUE	4	2 cal.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	4	ADONIS BLUE	4	2 cal.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y
5	ADONIS BLUE	12	2 cal.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	5	ADONIS BLUE	12	2 cal.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y
6	ADONIS BLUE	3	2 cal.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	6	ADONIS BLUE	3	2 cal.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y
7	ADONIS BLUE	5	2 cal.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	7	ADONIS BLUE	5	2 cal.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y
8	ADONIS BLUE	14	6" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	8	ADONIS BLUE	14	6" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y
9	ADONIS BLUE	1	12" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	9	ADONIS BLUE	1	12" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y
10	ADONIS BLUE	16	6" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	10	ADONIS BLUE	16	6" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y
11	ADONIS BLUE	10	6" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	11	ADONIS BLUE	10	6" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y
12	ADONIS BLUE	14	6" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	12	ADONIS BLUE	14	6" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y
13	ADONIS BLUE	1	24" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	13	ADONIS BLUE	1	24" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y
14	ADONIS BLUE	24" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	14	ADONIS BLUE	24" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
15	ADONIS BLUE	24" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	15	ADONIS BLUE	24" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
16	ADONIS BLUE	11" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	16	ADONIS BLUE	11" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
17	ADONIS BLUE	18" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	17	ADONIS BLUE	18" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
18	ADONIS BLUE	18" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	18	ADONIS BLUE	18" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
19	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	19	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
20	ADONIS BLUE	24" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	20	ADONIS BLUE	24" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
21	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	21	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
22	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	22	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
23	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	23	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
24	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	24	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
25	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	25	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
26	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	26	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
27	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	27	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
28	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	28	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
29	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	29	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
30	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	30	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
31	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	31	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
32	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	32	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
33	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	33	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
34	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	34	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
35	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	35	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
36	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	36	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
37	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	37	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
38	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	38	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
39	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	39	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
40	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	40	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
41	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	41	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
42	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	42	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
43	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	43	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
44	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	44	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
45	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	45	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
46	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	46	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
47	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	47	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
48	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	48	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
49	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	49	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		
50	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y	50	ADONIS BLUE	10" H.	B&B or cont., well rooted, 1/4 plants, 6" o.c. transplanted to 6" H.	Y		

SEEDED MEADOW

SEEDED MEADOW

SEED MIX

SEEDED LAWN

SEEDED MEADOW



BURIEN / NP STATION 29
135 S. Normandy Road
Burien, Washington

Project Number: 2008012.02
Land Use Permit:
ISSUED: 07/26/2011
REVISED: 08/25/2011

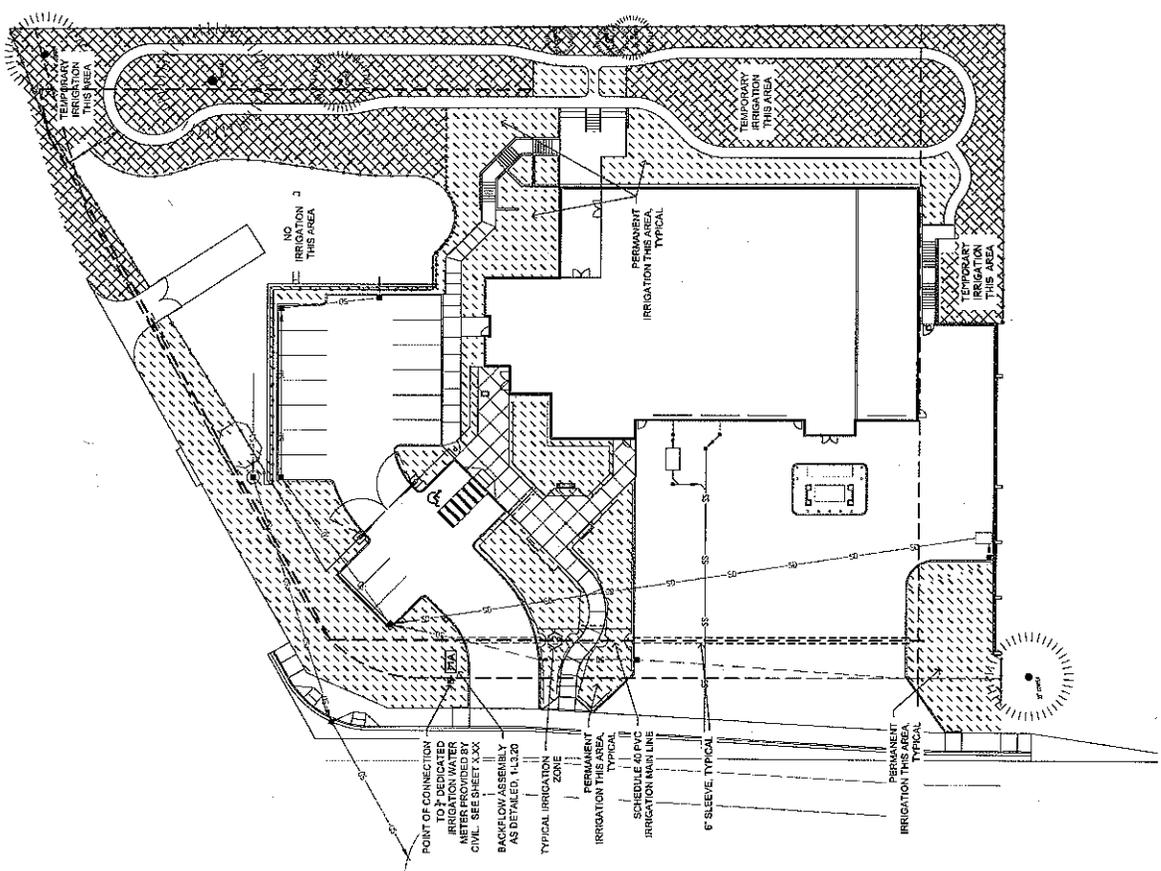
IRRIGATION PLAN

SHEET:
L3.10

- IRRIGATION NOTES**
- PROVIDE SPARE WIRES AT ENDS OF MAIN LINES AS INDICATED. ALL LOOP SPACES THROUGH EACH INTERMEDIATE VALVE SHALL BE IDENTIFIED. LABEL ALL WIRES AS THEY PASS THROUGH EACH VAULT. USE 3-WAY WIRE CONNECTORS.
 - STAKE ALL VALVE BOX LOCATIONS FOR APPROVAL. PLAN IS DIAGNOSTIC. NO VAULTS TO BE PLACED WITHIN TUMP AREAS.
 - SET VALVE BOXES SQUARE TO ADJACENT BUILDING, CURB, OR PAVING.
 - ALL IRRIGATION UNDER BUILDINGS, ROADS, WALKS, PARKING AREAS OR OTHER PAVED SURFACES SHALL BE INSTALLED UNDER THE PAVED SURFACE. MINIMUM DIAMETER OF THE INSERT PIPE, IF MINIMUM CHAS INDICATED. SLEEVINGS MAY BE INCLUDED FOR FUTURE WORK.
 - ALL PIPE SHOWN UNDER PAVING ADJACENT AND PAVED AREAS TO BE INSTALLED UNDER THE PAVED SURFACE. MATERIAL TO BE INSTALLED ON OWNERS PROPERTY. MAKE ANY AND ALL REQUIRED ADJUSTMENTS TO THE IRRIGATION PLAN TO ASSURE COMPLETE AND ADEQUATE COVERAGE WITH MINIMUM OVERRUN.
 - LATERAL LINE SHALL HAVE 18" OF COVER AND MAX LINES 24" 30" MAXIMUM COVER.
 - REFER TO PLANTING PLAN FOR EXACT LAYOUT. INTENT IS THAT ALL NEW PLANTINGS RECEIVE ADEQUATE WATER.
 - TEST STATIC PRESSURE AT POINT OF CONNECTION & SUBMIT WRITTEN RESULTS TO LANDSCAPE ARCHITECT. PRESSURE IS ANTICIPATED TO BE IN THE HIGHLINE WATER DISTRICT.
 - NO PIPING IS PERMITTED FOR FLUSHING. IS ACTIVE AND AVAILABLE FOR FLUSHING. ARC NOZZLES ARE NOT ADEQUATE.
 - USE VARIABLE ARC NOZZLES ONLY WHERE FIRED ARC NOZZLES ARE NOT ADEQUATE.
 - SEE PROJECT SPECIFICATIONS FOR FURTHER INFORMATION.

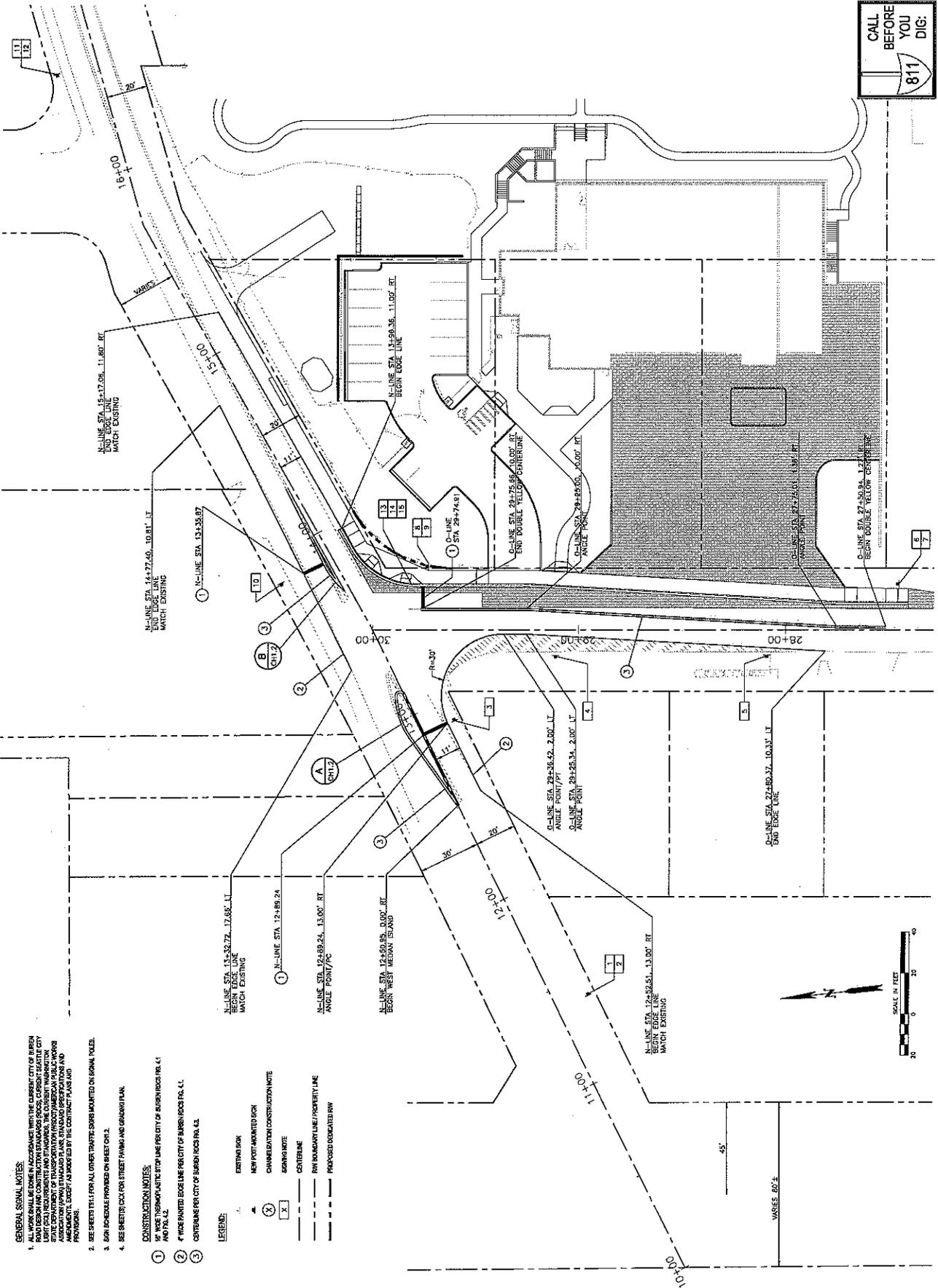
VALVE KEY

VALVE	SIZE	QPD	PSI
1	1"	30	
2	1"	30	
3	1"	30	
4	1"	30	
5	1"	30	
6	1"	30	
7	1"	30	
8	1"	30	
9	1"	30	
10	1"	30	
11	1"	30	
12	1"	30	
13	1"	30	
14	1"	30	
15	1"	30	
16	1"	30	
17	1"	30	
18	1"	30	





A PORTION OF THE NW 1/4 OF SECTION 32, TOWNSHIP 23, RANGE 4E, W.M., KING COUNTY WASHINGTON



- GENERAL SIGNAL NOTES:**
1. ALL SIGNALS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BURIEN SIGNALING AND CHANNELIZATION CONSTRUCTION MANUAL AND THE CITY LIGHTS CODE REQUIREMENTS AND STANDARDS. THE CURRENT WASHINGTON STATE SIGNALING AND CHANNELIZATION CONSTRUCTION MANUAL AND STANDARDS SHALL BE CONSULTED FOR ANY AMENDMENTS, EXCEPT AS PROVIDED BY THE CONTRACT PLANS AND PROVISIONS.
 2. SEE SHEET 151 FOR ALL OTHER TRAFFIC SIGNALS MOUNTED ON SIGNAL POLES.
 3. SIGN SCHEDULE PROVIDED ON SHEET CH2.
 4. SEE SHEET 151 FOR STREET FINISH AND CHANNELIZATION.
- CONSTRUCTION NOTES:**
1. ALL DIMENSIONS ARE FOR THE PER CITY OF BURIEN CODES PER 4.1 AND 5.1.
 2. FUTURE PAVED EDGE LINE PER CITY OF BURIEN CODES PER 4.1.
 3. CENTERLINE PER CITY OF BURIEN CODES PER 4.2.

- LEGEND:**
- EXISTING ROAD
 - NEW POST-MOUNTED SIGN
 - CHANNELIZATION CONSTRUCTION NOTE
 - GENERAL NOTE
 - CENTERLINE
 - R/W BOUNDARY LINE/PROPERTY LINE
 - PROPOSED DEDICATED R/W



CALL BEFORE YOU DIG:
 811

A PORTION OF THE NW 1/4 OF SECTION 32, TOWNSHIP 23, RANGE 4E, W.M., KING COUNTY WASHINGTON



Reid Middleton
 221 1/2th St. SE, Suite 200
 Burien, WA 98148
 P: 206.731.5555
 info@reidmiddleton.com

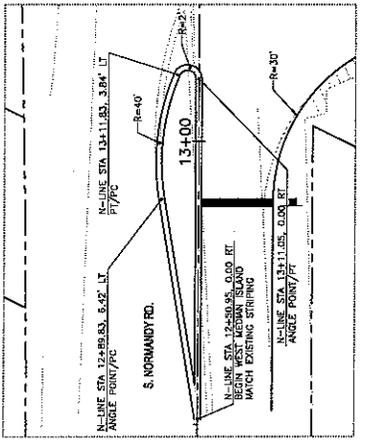
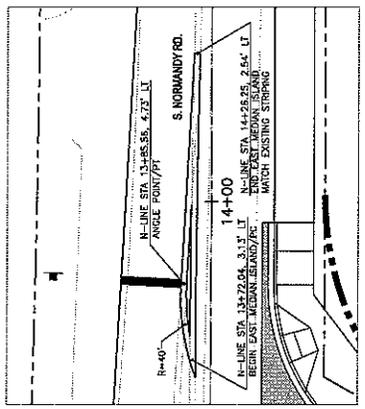
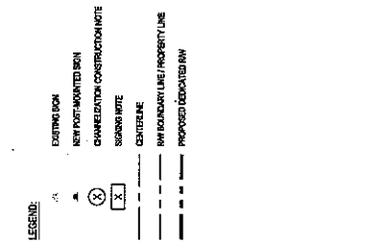
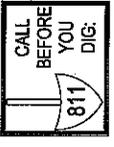


RM PROJECT NO: 25201.007

BURIEN FIRE STATION #29
BURIEN-NORMANDY FIRE PROTECTION DISTRICT #2

PROJECT #: 200801200
 LAND USE SUBMITTAL
 ISSUED: AUGUST 2011
 CITY OF BURIEN #:
 SCALE: AS SHOWN
 CHANNELIZATION AND SIGNING DETAILS
 S. NORMANDY RD / BURIEN AVENUE INTERSECTION

SHEET: **CH1.2**
 5107-CH1.2.dwg



A WEST MEDIAN ISLAND STRIPING DETAIL
 CH1.1 SCALE: 1"=10'

B EAST MEDIAN ISLAND STRIPING DETAIL
 CH1.2 SCALE: 1"=10'

SIGN SCHEDULE											
SIGN NO.	STATION	OFFSET	SIGN TYPE	DESCRIPTION	SIGN SIZE			CLEARANCE V (ft)	POLE HEIGHT (ft)	POLE SIZE (ft x ft)	COMMENTS
					W (ft)	H (ft)	H (ft)				
1	N-LINE STA 11440	17' RT	W11-10P	EMERGENCY SIGNAL ANCHOR PLaque	36	30	7	7	4 x 6	FIELD LOCATE	
2	N-LINE STA 11440	17' RT	W11-B	EMERGENCY VEHICLE	30	30	--	--	--	MOUNT ABOVE SIGN 1	
3	N-LINE STA 12480	17' RT	R10-SA	STOP HERE ON RED	24	36	7	7	4 x 4		
4	O-LINE STA 20411	12' LT	R7-10R	NO PARKING ANYTIME (DOUBLE ARROW)	12	18	7	7	4 x 4		
5	O-LINE STA 20409	12' LT	R7-10R	NO PARKING ANYTIME (RIGHT ARROW)	12	18	7	7	4 x 4		
6	O-LINE STA 27444	22' RT	W11-10P	EMERGENCY SIGNAL ANCHOR PLaque	36	30	7	7	4 x 6	FIELD LOCATE	
7	O-LINE STA 27444	22' RT	W11-B	EMERGENCY VEHICLE	30	30	--	--	--	MOUNT ABOVE SIGN 6	
8	O-LINE STA 28174	32' RT	W4-4P	CROSS TRAFFIC DOES NOT STOP	24	12	7	7	4 x 4		
9	O-LINE STA 28174	32' RT	R11-1	STOP	30	30	--	--	--	MOUNT ABOVE SIGN 8	
10	N-LINE STA 13487	28' LT	R10-SA	STOP HERE ON RED	24	36	7	7	4 x 4		
11	N-LINE STA 16454	21' LT	W11-10P	EMERGENCY SIGNAL ANCHOR PLaque	36	30	7	7	4 x 6	FIELD LOCATE	
12	N-LINE STA 16454	21' LT	W11-B	EMERGENCY VEHICLE	30	30	--	--	--	MOUNT ABOVE SIGN 11	
SIGN REMOVAL											
SIGN NO.	STATION	OFFSET	SIGN TYPE	DESCRIPTION	SIGN SIZE			CLEARANCE V (ft)	POLE HEIGHT (ft)	POLE SIZE (ft x ft)	COMMENTS
					W (ft)	H (ft)	H (ft)				
13	O-LINE STA 24480	21' RT	R11-1	STOP	--	--	--	--	--	--	REMOVE EXISTING SIGN AND POST
14	O-LINE STA 24480	21' RT		STREET NAME	--	--	--	--	--	--	REMOVE EXISTING SIGN
15	O-LINE STA 24480	21' RT		STREET NAME	--	--	--	--	--	--	REMOVE EXISTING SIGN

For Attachments 4-14 contact Stephanie Jewett, Planner

(206) 439-3152 or Stephaniej@burienwa.gov

**CITY OF BURIEN
AGENDA BILL**

Agenda Subject: Review of Council Proposed Agenda Schedule		Meeting Date: January 23, 2012
Department: City Manager	Attachments: Proposed Meeting Schedule	Fund Source: N/A Activity Cost: N/A Amount Budgeted: N/A Unencumbered Budget Authority: N/A
Contact: Monica Lusk, City Clerk		
Telephone: (206) 248-5517		
Adopted Initiative: Yes No <input checked="" type="checkbox"/> X	Initiative Description: N/A	
PURPOSE/REQUIRED ACTION:		
The purpose of this agenda item is for Council to review the proposed City Council meeting schedule. New items or items that have been rescheduled are in bold.		
 BACKGROUND (Include prior Council action & discussion):		
According to City Council policies, the proposed meeting schedule is reviewed during the last meeting of each month.		
 OPTIONS (Including fiscal impacts):		
<ol style="list-style-type: none"> 1. Review the schedule, and add, delete, or move items. 2. Review the schedule and make no modifications. 		
Administrative Recommendation: Review the schedule.		
Committee Recommendation: N/A		
Advisory Board Recommendation: N/A		
Suggested Motion: None required.		
Submitted by: Monica Lusk Administration _____	Mike Martin City Manager _____	
Today's Date: January 13, 2012	File Code: <u>R:/CC/AgendaBill2012/012312cm-1</u> <u>proposedagendareview.doc</u>	

**CITY OF BURIEN
PROPOSED COUNCIL AGENDA SCHEDULE
2012**

January 28, 8:30 a.m. – 4:00 p.m., Council Retreat, Environmental Science Center, 2400 SW 140th Street, Burien

February 6, 7:00 p.m. Council Meeting

Business Agenda

Quarterly Update by the Business & Economic Development Partnership.

(City Mgr)

Update on the Proposed Parks, Recreation and Open Space (PROS) Plan.

(Pks)

City Business

February/March

1. 2/13/12 – Special Meeting to Discuss Naming the “Citizen of the Year” Award Recipient.
(City Manager)
2. Motion to Approve Ordinance No. xxx, Adopting the Parks, Recreation and Open Space (PROS) Plan.
(Parks)
3. **Discussion on Continuation of Red Light Program.**
(Finance)
4. 2/27/12 - Presentation of the “Citizen of the Year” Award
(City Manager)
5. **Presentation on Forensic Mental Health Peer Program by SCORE’s CEO Ken Taylor and Executive Director Penny Bartley.**
(City Manager)
6. Presentation on Interlocal Agreement Extension by King County Solid Waste Division.
(Public Works – per Mayor’s direction on 11/28/11)
7. Discussion on Business Development.
(City Manager – Council direction on 5/23; Rescheduled from 10/28)
8. **Discussion on Proposed Ordinance Updating Criminal and Traffic Codes.**
(Legal)
9. **Motion to Adopt Ordinance No. xxx, Updating Criminal and Traffic Codes.**
(Legal)



Burien

Washington, USA

400 SW 152nd St., Suite 300, Burien, WA 98166

Phone: (206) 241-4647 • FAX (206) 248-5539

www.burienwa.gov

MEMORANDUM

TO: Honorable Mayor and Members of the City Council
FROM: Mike Martin, City Manager
DATE: January 23, 2012
SUBJECT: City Manager's Report

I. INTERNAL CITY INFORMATION

A. Comcast Film Crew in Burien

A Comcast film crew was in Burien on December 6 filming scenes around town and conducting interviews for a program called "Neighborhoods" that will start airing the first week of January. The 15-minute show spotlights different Northwest communities. Reporter Sabrina Register interviewed Mayor McGilton, Councilmember Clark, Debbie Zemke from PaRCS and some local shop-owners. "Neighborhoods" will air on Comcast On Demand (under the "Get Local" section) and continue through March 31. Comcast will then put it on its Western Washington website under the show's name and on You Tube. We've asked for a copy to air on Cable Channel 21.

B. Online Recreation Guide Gets an Upgrade

The Burien Parks, Recreation & Cultural Services (PaRCS) Department is using a new service provider for its online digital Recreation Guide. The new service offers more enhanced features and no commercial content. It is viewable at www.recreationguide.burienparks.net.

C. PaRCS Awards Two Contracts for Maintenance Services

The PaRCS Department has recently completed two processes for maintenance contracts. The Department conducted a Request for Proposal (RFP) process for custodial services for the Burien Community Center, Annex and Moshier Art Center. It has awarded a \$19,296 contract for 2012 to custodial contractor, OpenWorks. This is a new contractor for the Department. OpenWorks is LEED-certified for "green" cleaning and building maintenance.

PaRCS also conducted an RFP process for grounds maintenance of its parks and fields. Following a thorough review, the \$430,755/annual contract has been awarded to TruGreen Landcare.

D. New Prescription Discount Cards Available

The City is launching a new program in January 2012 that will provide residents free prescription discount cards offering savings off the retail price of prescription medications not covered through insurance. The program is sponsored by the National League of Cities. The NLC Prescription Discount Card can be used by all residents and has no restrictions based on a resident's age, income level, or existing health coverage. We're conducting a major outreach to get the word out to all residents who might benefit from the program, and enlisted the help of our multi-lingual employees to provide information to Burien's ethnic communities. Residents will be able to pick up the cards at City Hall or the Community Center, or get them online. Contact Nhan Nguyen if you have questions at 206-241-4647.

E. Employees Provide Assistance to Community for Holidays

Staff provided assistance to a few local organizations around the holidays this year. Beneficiaries of their giving were Highline ECEAP, Ruth Dykeman Children's Center, and the Highline Food Bank, as well as one local family adopted by a few staff members.

F. PaRCS's ShapeUp 50+ is Shaping Up

Burien's ShapeUp Fall Prevention Campaign, sponsored by King County Emergency Services, was an outstanding success in 2011, having hit an all-time high mark for participation. In 2011, Burien had 290 new and returning seniors trying out new fitness and dance classes, which was the highest number of any city. Previous years' counts for the regional program which includes sites in Burien, Bellevue, Northshore, Seattle, Mt. Si and Sno-Valley, were: 151 in 2009, and 341 in 2010. Just over 700 people participated regionally in 2011.

This fall prevention campaign is designed to empower seniors to take control of their health and balance through education and physical activity. Grant funding for ShapeUp will continue in 2012 to encourage seniors to start new fitness and dance classes.

G. Aging Your Way Update

PaRCS staff recently attended an "*Aging Your Way*" community meeting in Des Moines. The focus of this gathering was to assist participants to envision what programs, designs and connections their communities will need to implement in order to make them great places in which to age. Burien PaRCS staff will join the Communication Strategies Group ("*Building Awareness of Current Offerings*") and will begin working with this group in 2012.

H. Senior and Adult Program Partners with NW Parkinson's Foundation

A Caregiver's Support Group is being created from this partnership between the Foundation and Burien PaRCS. Many caregivers are facing grief, loss, and burnout taking care of loved ones. The group will help support them during this process and offer knowledge and confidence that what they are doing is valued. This group will meet the third Friday of each month beginning in February.

I. Final Salmon Count for the Year

Elissa Ostergaard, our Miller/Walker Creek Basin Steward, reports that despite the cold, dry weather, fish rolled into our creeks. It was a very healthy Coho run – we saw a total of 413 live Coho, and 355 live Chum. The last live Coho was seen on November 29, but the occasional moldy carcass still shows up. Volunteers saw an average of 10 live Chum per day.

Volunteers have logged over 190 hours this season. Besides counting fish, they have been collecting fish heads for measuring and checking for coded wire tags; the tags tell which hatchery these fish came from.

J. City of Burien Receives Additional DOE Grant for 2012

The City of Burien has received an additional \$50,000 in grant funds from the Department of Ecology, effective January 2012 for the Municipal Stormwater Capacity Grant project. This grant is provided to help the City's National Pollutant Discharge Elimination System (NPDES) permit compliance. The City can use the funding to address planning, implementation and/or management of the City's stormwater programs related to the NPDES permit.

K. Staff Obtains Building Safety Emergency Responder Credentials

Kirk Gentile, Dan Cruz and Jan Vogee recently received their Building Safety Emergency Responder credential from the Washington Association of Building Officials as authorized under the Washington Building Safety Mutual Aid System. In order to obtain this credential, applicants must complete specific training in damage assessment and be certified Building Inspectors or Plans examiners. The training allows our staff to be better prepared for emergencies and could allow the City to participate in the new mutual aid system.

L. UW Class Studies Feasibility of Community Gardens in Burien (Pg. 169)

In Fall Quarter 2011, planning staff worked with 5 students from the University of Washington's Community, Environmental and Planning Department on a feasibility study for community gardens. The students reviewed several aspects of community gardens on public and private land including zoning, ownership, physical maintenance, noise restrictions, and produce sales. The report provides case studies and recommendations for policy and zoning changes to facilitate opportunities for community gardens. Using community gardens for production of healthy food will be further discussed as part of our CPPW/HEAL grant. The report is attached.

M. Moshier Art Center Gets a New Door

A new front door was installed at Moshier Art Center on December 30. Not only were the old entrance doors not compliant with ADA requirements at 28 inches wide (ADA requirement is 36), the door latching and locking mechanisms were also worn out. Moshier Art Center has three classes each week for people with disabilities, so the new door which also has a remotely-activated automatic opening mechanism will improve access for all.

N. \$20,000 Donation Received from Beverly Cameron Family

In memory of Beverly Cameron, her family recently contributed \$20,000 to the Moshier Arts Center's Art Escape program, which is a visual arts program for participants with developmental disabilities. For the past six years, Beverly had been a student in the program. She passed away in early November of last year. Her family had told city staff after Beverly's passing that participating in the Art Escape program and working with instructor Shariana Mundi was always the highlight of Beverly's week. Their hope is that their donation will make more opportunities available for enrichment and recreation for those living with disabilities, especially since so few options are available for them. Ms. Mundi commented that "through her art, Beverly added friendships and artist celebrations to her life." Beverly's work is currently on display at the Burien Community Center through January 30.

O. Certificate of Achievement for Excellence in Financial Reporting

The Government Finance Officers Association notified us that we received the Certificate of Achievement for Excellence in Financial Reporting for our 2010 Comprehensive Annual Financial Report (CAFR). The Certificate of Achievement is the highest form of recognition in the area of governmental accounting and financial reporting, and its attainment represents a significant accomplishment by a government and its management. The CAFR has been judged by an impartial panel to meet the high standards of the program, including demonstrating a constructive "spirit of full disclosure" to clearly communicate its financial story and motivate potential users and user groups to read the CAFR.

Gary Coleman is primarily responsible for preparation of the City's report.

II. COUNCIL UPDATES/REPORTS

A. 2012 Regional Appointments for Suburban Cities Association (SCA) (Pg. 187)

Attached is the list of Recommended 2012 Regional Appointments for SCA Boards and Committees which was approved by the SCA Board of Directors on December 7, 2011.

B. Letter Regarding Annexation Tax Credit (Pg. 189)

Attached is a letter signed by some State Representatives and Senators for the cities of Auburn, Bellevue, Bothell, Burien, Kent, Kirkland, Lake Stevens, Marysville and Renton sent to the House Ways and Means Committee and the Senate Ways and Means Committee, asking that the Annexation Sales Tax Credit be retained as it currently exists.

C. City Council to Participate in Highline School District's Superintendent Search

City Council members will have the opportunity to meet finalist candidates for the Highline School District's Superintendent search in February and offer feedback. The District will also hold three Community Forums at the City Hall/Library building for the public to have a chance to meet the final three candidates on February 22, 23 & 24. More details will be provided as they are announced.

D. Air Mail Publication Received from Port of Seattle (Pg. 193)

The City has received the Port of Seattle's Air Mail Publication with articles on Lora Lake, and the Part 150 update. See attached.

E. Construction Permit Updates (Pg. 195)

All work was completed and the Certificate of Occupancy issued for the Environmental Science Center at Seahurst Park.

Attached are reports for Permit Applications Received and Permits Issued in December 2011.

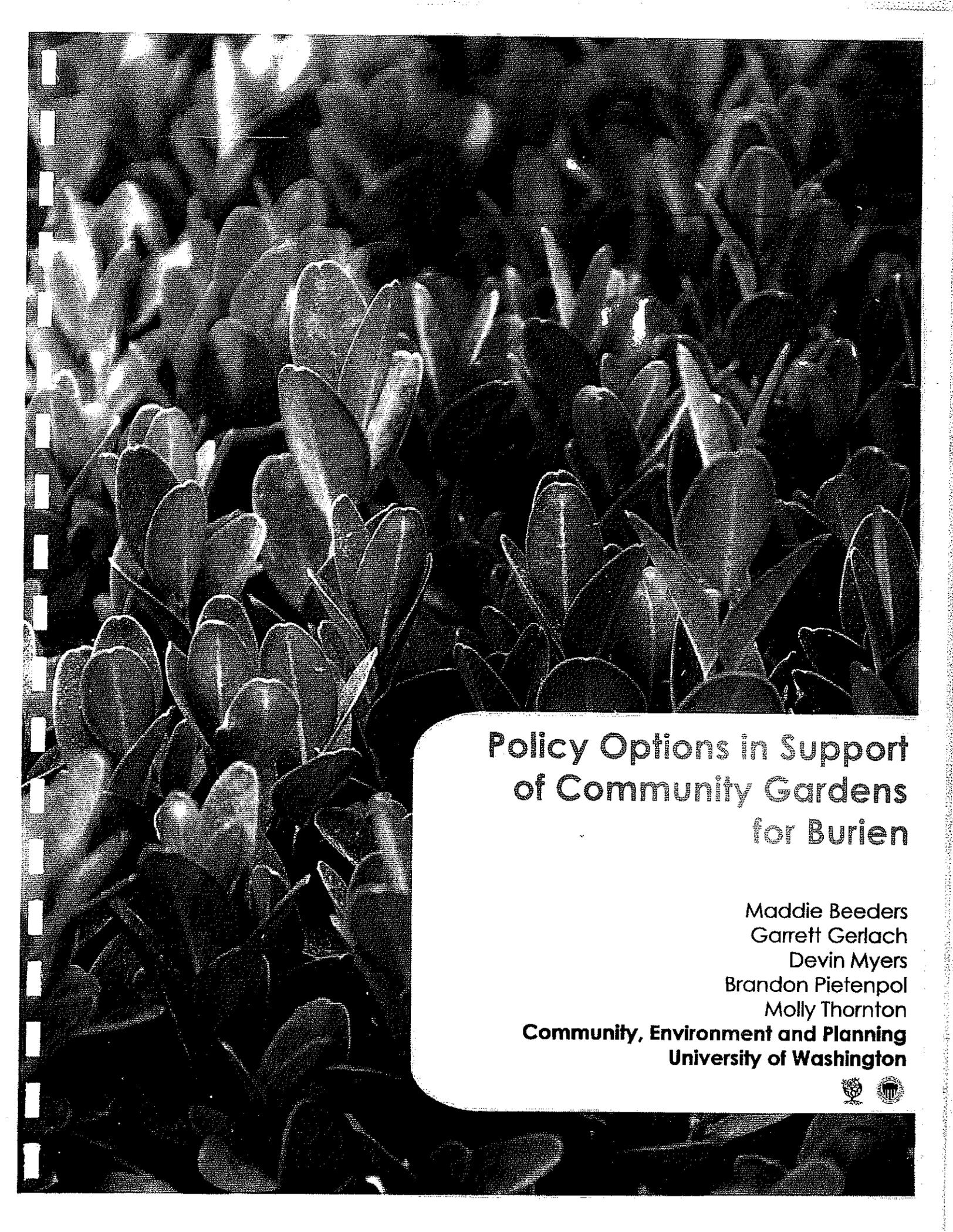
F. Citizen Action Report (Pg. 197)

Staff has prepared the attached December 2011 Citizen Action Report.

G. Notices (Pg. 205)

The following (attached) notice was received:

- The Washington State Boundary Review Board will meet on Monday, Jan. 23, 2012 at 7:00 p.m. to undertake discussion and deliberation to come to a decision concerning the City of Burien's proposal to annex the North Highline "Y" Area. The meeting will take place at Cascade Middle School, 11212 10th Ave. SW, Seattle, WA 98146. Please note that the public is welcome to come and observe the decision-making process, however, the public hearing in this matter has been completed, so no further public testimony can be received.



Policy Options in Support of Community Gardens for Burien

Maddie Beeders
Garrett Gerlach
Devin Myers
Brandon Pietenpol
Molly Thornton

**Community, Environment and Planning
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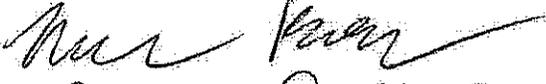
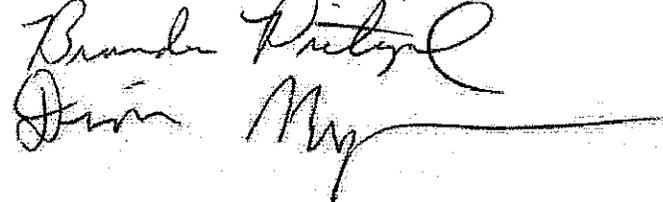
Dear City of Burien,

We are a group of University of Washington students in the Community, Environment and Planning program, an interdisciplinary Bachelor of Arts Degree Program in the College of Built Environments. With an interdisciplinary curriculum, the program focuses on community development, human welfare, project management, urban design, practical sustainability, and articulating the dynamic theories of our social and physical structures. We also practice improving our skills in project management, public speaking, student governance, and enduring a broader perspective on physical, social, and global problems. With this experience, we have begun to outline some of the solutions that Burien has asked to address.

We have been collaborating with the City of Burien's Community Development Director Scott Greenberg and City Planner Stephanie Jewett to draft a feasibility plan for implementation of community gardens in Burien. There are five members in our group; we divided the work to most effectively create a detailed and coherent written report for the City of Burien. In regards to the feasibility of a community garden in the City of Burien, we have been researching what constitutes a community garden, how it differs from other manifestations of land-use, and what policies relates to the development, and maintenance of a community garden. In the following pages we will touch upon the definition of community gardens, the needs of Burien as identified through our contact with Scott Greenberg and Stephanie Jewett, practical case studies pertaining to successful community gardens, policy resources, and recommendations based on our findings.

Our objective in this proposal is to outline Burien with a better understanding of how a community garden functions in relation to its social and physical-surroundings. We also approach the policies and processes regarding implementation of a community garden. We are eager to assist in this project and to help to create this comprehensive feasibility plan to aid in successful relationships between the City of Burien and future community garden projects. Thank you for your time and the resources you have allotted to with in this process.

Sincerely,



Brandon Pietenpol


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Introduction

The intent of our project is to research how Burien can enable private community garden development. The scope of our project includes researching 'the who', 'what', 'where', and 'how' of producing a viable community garden. The 'what' involves defining community gardens, differentiating them from other types of agricultural endeavors, and identifying the role of the city in citing criteria for physical design features or service standards quota. The 'who' encompasses defining the management body, funding sources, responsible parties, and the potential involvement of the public or private sector. 'Where' specifies the attributes that qualify an appropriate location. The 'how,' which is the major concern of our client, Mr. Greenberg, requires research on policy issues, residential compatibility, abandonment and re-use of land. Based on research of these categories, we have developed a detailed analysis of the variables pertaining to community gardens. Our methods included case studies, physical observations, policy research, email and phone interviews, and face-to-face meetings with our client.

The initial client contact for this project was the Burien Community Development Director Scott Greenberg, on behalf of his team of City Planners, and the City of Burien at large. Mr. Greenberg directed our project with a list of guiding questions, which have since been categorized in terms of the 'who', 'what', 'how' and 'where.' Mr. Greenberg was recently awarded the HEAL Grant from CPPW. Scott is using the grant to consider policies related to enhancing food access in Burien through various avenues, including the potential of increased community gardening. The end result of our project is to provide findings that can streamline the process of creating and maintaining community gardens for all affected parties.

Project Background and Context

Burien is one of the recipients of the national CPPW/HEAL grant. This grant is an effort of Public Health-Seattle & King County CPPW (Communities Putting Prevention to Work) Coalition & HEAL (Healthy Eating Active Living) program meant "to provide updated technical guidance to incorporate planning approaches that promote physical activity in local comprehensive plans." Burien is one of seven cities in King County that has received this funding. Food access policies were one of the considered issues for this grant funding. Within the realm of food access policies, community gardens are one of the topics to be addressed by grant recipients.

When evaluating food access policies for the city's annual Comprehensive Plan, the City of Burien is hoping to ultimately make a decision about whether or not they are going to pursue community gardens in their current plan. According to Community Development Director Scott Greenberg, Burien must choose their priorities carefully due to the size of their jurisdiction. However, the City of Burien hopes to open the door for new community gardens to be facilitated as citizens' interest arises.

Currently, Burien has one working community garden. This garden, proposed by Sustainable Burien, operates on city owned land that was initially purchased to build a new community center that did not come to fruition. Due to its location, the garden abides by open spaces laws as determined by the Parks and Recreation Department. Burien does not have experience with the development of community gardens on private property and are seeking recommendations regarding this process. Specifically, Scott Greenberg and Stephanie Jewett have informed us of concerns regarding liability issues such as odor, noise, hours of operation, parking, signage, and theft. They are interested in options for navigating the



legalities and policy issues necessary to facilitate the community garden process between city, neighbors, and garden creators.

Methods and Process

Our inquiry into the feasibility of Burien supporting community gardens began with a ten-question prompt issued to us by Burien City Planners. The prompt covered topics from defining a community garden to the suitability of appropriate locations, and how to address a range of potential problems that could arise at such sites. From these topics, we organized the specific questions into the umbrella themes Who, What, Where, and How?

Our team took these questions and we applied our research into community garden and urban agriculture projects around Seattle to analyze how they have been dealt with previously in the Seattle area. Our team researched existing community gardens in Burien, Bainbridge Island, Tukwila, in addition to the Seattle's P-Patch program, and the Alleycat Acres urban farm collective. From the results, we narrowed down the scope of topics and questions to a range that was suitable to our clients, our skill sets, and our timeline. We focused our research on Alleycat Acres and Sustainable Burien due to their continued relevancy to the themes of our project.

Additionally, we have done contextual research on the community of Burien. We conducted field research on governmental, public, and green spaces in the city and reviewed government as well as city documents.

These components have shaped our understanding of Burien and appropriate options for their community gardens. Our next step was analyzing resources geared at supporting community gardens to discover potential legal altercations. From these sources, we have identified some suggestions to support the City of Burien in developing community gardens. Burien is already familiar with the processes involved in running a community garden on a public site, so we have geared our research and suggestions primarily toward models occurring on private property.

An Introduction to Community Gardening

In order to discuss policy surrounding community gardens, it is necessary to define a working definition of a community garden. Within the realm of urban agriculture, there are delineations for a community garden and an urban farm. Some current definitions and understandings of these terms follow.

A community garden can be defined as an open space, public or privately held, where people can come together to respectfully organize, plant, and sustain a piece of land. Community gardens may be used to raise food for gardeners and/or the community at large, serve decorative purposes, or function as an educational or rehabilitative facility. A community garden can provide a meeting place to develop and enhance community networks through joint ventures and restore a healthier urban environment. These gardens also serve as a source of pride among residents and participants (b-townblog.com).

An urban farm is typically differentiated from a community garden based on the way food is dispersed. An urban farm is seen as a commercial entity while a community garden is meant to provide food to its gardeners or to others through donation. Alternatively, both entities can be allowed to sell their food and the distinction may be based upon the amount of revenue produced through these sales.



Size:

Community gardens are typically limited in size by the amount of open urban area available rather than by legally defined standards. In the Seattle P-patch system, the smallest garden is 1000 sq. feet (Pelican Tea Collective) while the largest is over 3 acres (Thistle P-patch).

Ownership and Maintenance:

Community Gardens can be privately or publicly owned and managed and maintained by unpaid volunteers. Usually community gardens require an annual fee for members, who are allotted an individual plot or a community plot where anyone can contribute. Gardens are often split into clearly divided plots managed by a different gardener or group. Others are collectively run, with every member working together on the garden as a whole.

Organization:

The plot size, plant choice, group and leadership selection, membership rules and fees determine the organization of the garden. These organizational features are determined by the management body, who can decide based on the intent of their garden and the needs of the community. There is no pre-determined standard plot size. The location, land availability demand, and the needs of the gardeners are considered when devising plot size (www.seattle.gov).

Purpose and Benefits:

1. **Municipal Costs:** Less expensive than maintaining parkland areas. Require less appropriation of land and significantly less labor. Increases property values and less government spending on land fill space.
2. **Beautification:** Make community more visually dynamic and heightens people's awareness for natural beauty.
3. **Exercise:** Recreation and opportunity to physically engage with outdoors for volunteers.
4. **Improved Diets:** Locally produced foods have less exposure to pesticides than non-locally produced foods and can reduce obesity and asthma rates in children. There is a direct correlation between good health of community gardeners and their children compared to community members not involved in gardening.
5. **Food Production:** Provide access to locally produced and nutritionally dense foods that might not otherwise be accessible to low-income families and individuals.
6. **Urban Ecosystem:** Community gardens can help filter rainwater, reduce soil erosion and runoff, and restore oxygen.
7. **Youth Education:** Serve as sites to teach children about healthy eating and lifestyle, cooperation, community, and environmental responsibility.
8. **Horticultural Therapy:** Community gardens and interaction with green space can reduce stress and increase self-satisfaction.
9. **Community Building:** Increase feeling of community togetherness and physical embodiment of stewardship, which can provide a safe place to interact with other community members. Community gardens provide members with an opportunity to connect with other gardeners.



Case Studies: Examples of the Present and the Future

Public Land Use: *Sustainable Burien and the Burien Community Garden*

Sustainable Burien (SB) is a citizen-led non-profit organization that was started in January of 2008 to promote a sustainable community in Burien. They played an important role in launching the city's community garden located in the heart of Burien. SB has also taken the lead on other community gardens in the city. They installed four community gardens at the Burien/Intern Art Space (B/ IAS) located north of the Burien Town Square. The successful implementation of community gardens through SB illustrates the interest for these gardens in Burien. According to Lucy Krakowiak, a Board Member from Sustainable Burien, "while there was a community garden identified in the Parks Master Plan for a future park feature, it took the community to create a temporary garden on private property to show the city the demand and support for the program today. It also took a knowledgeable staff person with previous community garden experience to advocate for it at the upper management level. These two pieces were critical" (Krakowiak, 2011).

SB participants have noted that city support has been helpful in the development of the Burien Community Garden. The Parks Department granted approval to use a piece of public space previously acquired to build on, as the community garden site, and also granted funds to pay for development.

Developing Burien's Community Garden as a part of public open spaces means that the garden must abide by the policies that relate to other Parks and Recreation sites. This is the only process of community garden development the city is familiar with thus far.

Private Land Use: *Alleycat Acres Urban Farm Collective, Seattle, WA*

Alleycat Acres is an organization that formed in Seattle two years ago, with a mission to reconnect people and food. Their vision is multi-dimensional: help people connect to food, educate people about food, foster a stronger sense of community, address food insecurity, offer healthy food choices, and sustainability in our local communities. "We do this by collaborating with individuals and communities and building a network of neighborhood run farms," simply put by the groups' original visionary, Sean Conroe. Alleycat Acres calls itself an "urban farming collective." The group is a grassroots effort whose decision making process include all stakeholders. They are not incorporated under a 501(c)(3); instead they operate with a core of 11 members and a fiscal sponsorship from Sustainable Seattle.

What is it?

Although Alleycat Acres calls itself an *urban farming* collective, it serves as a relevant model for Burien's inquiry into community gardens because of the way its projects simultaneously clarifies and pushes the boundaries of what it means for a group of people to grow food together in the city, with and without supportive policy measures. They have been able to acquire vacant land through simple agreements with landowners, and rely on networking with other urban agriculturalists, non-profits, individuals, and community institutions such as churches and schools, to keep it growing.

They currently run two urban farms in Seattle, with a third in the works. Their first plot is in the Beacon Hill neighborhood. It is 1/8 of an acre, a quarter of which is currently in food production. This site has been in operation for over a year, and was founded on an empty lot in between houses in a residential area. The land was donated by its owner who allowed them to build a farm there solely on the criteria that the space be "clean, quiet, green." The collective's second plot is at 22nd and Union, in the



heart of Seattle's Central District. Their collective philosophy carries over to the management of these micro-farms in which they are run as a whole unit, rather than subdivided into individual plots. The farms are all volunteer run and many participants take home a share of what they grow, while others do the work simply to help support crops going to the food bank. Refer to the appendix for visual of garden.

Residential Compatibility

Alleycat Acres' success is demonstrative of what good can occur when a number of committed individuals are given permission to pursue projects they are passionate about and strive to build the community necessary to support their endeavors. The farms run with almost no money and rely on resources such as a partnership with neighboring Good Shepherd Church to receive water for one of their sites. Sean Conroe, a member of Alleycat Acres, explained that "the simple act of growing food in the city, that gesture alone, is effective in terms of building relationships and restoring a sense of ownership of the neighborhood and in the farm." These relationships have made potential problems related to residential compatibility nearly obsolete for Alleycat Acres.

Alleycat Acres ultimate goal was to include their neighboring community as much as possible in their farms. The noise level, traffic, and environmental changes involved in having an urban farm have not been a problem. According to Conroe, the only time they had machinery on the site was when it was first being developed, and they are careful to communicate with their neighbors when they anticipate activities that could be a nuisance. For instance, if the collective is expecting a large load of soil to be dumped that they will not be attending to immediately, they alert their surrounding community which deflects conflict and opens the opportunity for citizens to have a say in potential disturbances. An open pathway for discussion keeps mutual respect between the urban farms and their surrounding neighborhoods. The citizens are satisfied and the collective has not faced any issues of vandalism or theft, minus the disappearance of a scarecrow! Sean Conroe says that kind of theft is expected and not detrimental. As to "theft" from the farm's harvest, Sean says that from his perspective, disappearance of food could hardly be considered theft because their goal is to feed people. However, this "theft" has not occurred and they do strive to teach and include individuals in the entire process from sprout to harvest.

Policy

Alleycat Acres has encountered legal obstacles in the development of their work. One of the challenges they faced when the organization began was being able to sell their produce on residential property. Their initial visions included many avenues for distributing the harvest of the farm including through sales. When Alleycat Acres inquired with the Department of Planning and Development, they found that conversations were already occurring related to their predicament because of the experiences of other urban agriculturalists. The Seattle Department of Planning has since revised their land-use policy to make it easier for community gardeners and urban farmers to sell food grown on residential property.

The small scale of their operations has exempted Alleycat Acres from needing to do environmental assessments or receive permitting. Conroe elaborated that the little things in policy related to urban agriculture can have significant social and cultural importance. For instance, policy related to livestock allowances has been a source of contention in Seattle urban agriculture. The types of animals allowed have importance related to the cultural backgrounds of your community and their traditional foods. Changes in Department of Planning and Development codes regarding urban agriculture have been a help to the already successful work of Alleycat Acres.



Policy and Land-use Resources

As community gardens become a grassroots phenomenon across the nation, many governments are beginning to face the legal and policy issues surrounding these citizen's projects. In response to the questions that community gardens raise, resources are being developed to ease the process for gardeners and cities. Our research has led us to work by NPLAN, The National Policy & Legal Analysis Network to Prevent Childhood Obesity.

NPLAN is a legal and policy program that focuses on policy interventions to reduce childhood obesity at the local community level. NPLAN is also under the umbrella of the Public Health Law and Policy (PHLP); an organization made up of urban planners, policy analysts, and lawyers. PHLP's primary objective is directing programs to improving public health. The programs they offer, besides the Childhood Obesity initiative, include Healthy Planning, Tobacco Control, and Climate Change. They offer consulting tools including public health information, legal assistance, and policy tools for communities making the effort to improve public health standards. They have assembled a number of resources specific to Community Gardens that we have utilized, such as advice on land use policy, a general legal toolkit, a model community garden lease, gardener's agreement, and community garden rules.

Land Use Policy

Problem: Zoning codes do not usually address community gardens, leaving them vulnerable to being closed down as an "illegal" use.

Solutions: NPLAN's Model Zoning Ordinance Language for Community Gardens provides local governments with two options. Here are highlights from the document:

Distinct Community Garden Designation:

As expressed in NPLAN's Model Zoning Ordinance:

"One option establishes community gardens as an approved use of land in residential, multi-family, mixed use, industrial, or any other zone the community selects. This allows residents to set up community gardens without obtaining a permit or other prior approval from the government" (NPLAN, 2009).

"The first designation allows residents to develop and maintain community gardens in the enumerated districts without requiring the residents to obtain any type of permit, finding, variance, or other government approval. Because no permits are required, the ordinance sets forth basic regulations for community gardens" (NPLAN, 2009).

Open Spaces Sub-Category Designation:

The second option provided in NPLAN's model ordinance language protects community gardens established on public property. This option sets up a separate subcategory (or "sub-district") of open space designated for use as community gardens, giving community gardens the same protections as other types of open space uses.

The second designation establishes community gardens as a legitimate use in specified zoning districts and gives them the same protections as other types of open space uses. According to



“Establishing Land Use Protections for Community Gardens” from NPLAN, “Citizens interested in starting community gardens often face obstacles securing access to land and ensuring preservation of land for community gardens. Supportive land use policies, like zoning ordinances, can help to create community gardens and ensure their long-term ability to operate on a site” (NPLAN, 2009).

Community Garden Legal Toolkit

This resource is intended to give city officials information regarding advising landowners and sponsors about how to integrate the process of establishing community gardens on private property spaces. It also outlines how to tackle the legal issues for those responsible for the garden and provides information about garden rules. This legal toolkit contains pertinent information for Burien and its future gardens.

The process of identifying the structure of community gardens in residential zoned spaces or private properties can be difficult. How should the garden space be run and what rules should be in place? Who will be in charge of it? This section elaborates on the process between different parties in taking responsibility and risks for the development of community gardens.

Legal and procedural barriers have to be respected when creating a community garden. Understanding policy enables the managerial body to negotiate with landowners by accepting risk and liability. Landowners might be apprehensive about community gardens due to liabilities, including, injuries, vandalism, noise, and unmaintained use of garden space. Conversely, sponsors may be hesitant because of abandonment or the potential to be sued by the landowners. Therefore, written consent would help facilitate a positive relationship between landowners and the community garden members, in addition to streamlining its creation.

Community Garden Lease

A community garden lease is an agreement between the landowner and a non-profit or organizational agency (sponsor) that allows the use of the landowner's private-property. The sponsor “agrees to be legally responsible for overseeing the operation of the garden, to abide by the conditions in the lease (including maintaining insurance coverage) and to give up any potential right to sue” (NPLAN, 2011). This minimizes the costs for the landowner, which could provide more incentive for landowners to lease their property.

The landowner contracts with a legally recognized sponsor that is responsible for operating the garden space. Gardeners interested in participating will have to sign a separate agreement with the sponsor to be able to use the community garden space while also waiving certain rights such as the right to sue.

In order to make a lease work, a written contractual agreement needs to be signed from all stakeholders. Negotiating an agreement is vital because this becomes the legitimate basis for the agreement. Drafting an agreement minimizes the risk of dispute because parties can voice their concerns and increase understanding for all involved. Once a lease is signed, it means all parties agree to all conditions, and they must carry out to the lease's terms. If there are any provisions that are not resolved, they have the right to seek mediation or sue to solve any disputes. An important consideration before signing an agreement is determining the garden's suitability on the landowner's lot. Is the soil quality safe? Performing a site analysis, such as soil testing, and putting forth mitigation measures (e.g. soil amendments) can help ease these concerns. The duration of the agreement must also be determined to insure that the gardeners and sponsors are maximizing the value and worth of the project.



The Garden Lease recommends the following suggestions in a potential contract between sponsor and landowner:

- 1) Parcel, Term, and Rent
- 2) Operation and Maintenance of Parcel
- 3) Expenses
- 4) Termination
- 5) Indemnity and Waiver of Liability
- 6) Insurance
- 7) Agreement to General Provisions

Model Gardener's Agreement

The Model Gardener's Agreement is an agreement between the sponsor and the gardeners' that are using plot space. It's designed to be used along with the lease agreement and the garden rules, as explained in section below. The agreement recommends including the following:

- 1) Temporary Right to garden
- 2) Liability waiver, release, indemnification and acknowledgments
- 3) Termination
- 4) Agreement to General Provisions

Model Community Garden Rules

To create a structure for operating a community garden, it must be managed in an organized manner and have an established set of standards. The Model Community Garden Rules is "intended as a starting framework that can be tailored based on the needs of the specific garden, the parties, and the gardening community" (NPLAN 2011). The Sponsor would likely have legal authority of the garden space because they are held liable to the property-owner. Having a careful and thoughtful Rule guide demonstrates that the garden will be operated safely and responsibly and provide solace to the property owners.

The Community Garden Toolkit suggests carefully creating rules to ensure the safety of all the participants, maintain the garden property, personal conduct, limit disputes through fair methods of resolving them, and prevent disturbances from neighbors through mediation. This toolkit provides a starting framework for developing rules for specific community gardens. The rules are planned based on the type of community garden and its organizational structure. These variables might include: acceptable plant types, growing methods, water allocation, and tool use. Careful planning helps create the most group cohesion and prevents future altercations.

Recommendations

The City of Burien can aide in the development of community gardens by creating supportive policies. These policies can ensure the compatibility of the garden and its surrounding area without being responsible for the garden. This role is preferable to allow groups the autonomy to fully maintain gardens and carry out their vision. The success of a community garden is dependent on enthusiasm and support of the individuals who are willing to invest their time to create one. The City of Burien has the opportunity to increase community garden space and its accompanying social, health, and environmental benefits without



funding and operating their entire infrastructure. In support of community gardens (to match interest from the citizens of Burien as it surfaces), we recommend the following steps.

1. Assign an Appropriate Definition for Community Gardens

As this report explains, there are multiple lenses for defining urban agriculture and its community garden and urban farm components. In order to define policies to respond to the operation of urban agricultural sites, Burien should determine which of these definitions best suits their locality. Both community gardens and urban farms provide important community benefits and each of them can facilitate better food access for citizens, via locally grown food either grown by, donated to, or purchased by those who need it. A distinction is necessary as Burien may determine that Community Gardens are appropriate in locations that Urban Farms are not, or vice versa.

2. Create a Model Lease and Model Community Rules

To streamline the process between government and private parties initiating community gardens, model documents can be implemented. We recommend a closer look at templates such as, NPLAN's model lease and Model community rules. With the input of gardeners and planners in Burien, these blueprints can easily be modified to meet the needs of the City of Burien. Written documents such as a lease agreement and community rules between Community Gardeners, Landowners, the City, and any other stakeholders can alleviate ambiguity surrounding legal issues. These simple agreements clarify responsibilities and minimize risk for all parties without adding work for the city or complicating the progress of gardeners.

These agreements remedy many concerns about community gardens including noise, garden management, hours of operation, abandonment, and liability.

3. Adjusting Policy

Multiple policies can be implemented or modified to shed clarity on the operation of community gardens within a jurisdiction. There are a few specific changes that can have widespread affect.

a. Land Use and Zoning Policies- As noted from previous discussion, there are two primary ways of zoning for Community Gardens. Both can be implemented based on the situation, however, clarifying Community Gardening as a distinct use of space that is allowed without permitting in residential, commercial and even industrial zones, is the most simple way to make community gardening accessible. In the future, these zoning policies may open the door for further distinctions such as cost of water use for urban agriculture. Designating space for community gardens through legal definition is the first important step to sustaining their important functions.

b. Animals- Based on the cultural and social needs expressed by Burien citizens, livestock permission should be legalized to obtain a suitable compromise. In the City of Seattle, DPD laws can be referenced as an example of both chicken and small animal laws that help meet the needs of local gardeners without infringing on the needs of their neighbors.

c. Funding and Permitting the Sale of Produce- One of the largest obstacles faced by community gardens is funding shortages. They sometimes struggle to gather the resources to upkeep their ambitious plans for community vibrancy and typically run on an all-volunteer basis. Cities can do much to ease



funding situations such as encouraging interim or temporary use of underutilized land for gardens, assisting in land acquisition, and providing matching grants. Alternatively, cities can help urban agriculture sustain itself by permitting the sale of produce either on site or at market locations, as determined by each locality. The opportunity to make some profit off of a harvest can sustain community gardens.

Local Resources for Community Garden Policy Decisions in Burien:

- Sustainable Burien is one example of an organization the City of Burien can utilize to determine appropriate designations in Burien. Sustainable Burien also has the power to outreach to citizens or other organizations in regards to community garden projects. The organization has experience working on community garden projects and can provide a wealth of knowledge and vision for the future, especially if the city accommodates them with permitted use and other gardening incentives. City officials can evaluate the risks and benefits of permitting the use of community gardens on private properties and providing grants that would benefit the community with the participation of its already active citizens.
- Additionally in the Puget Sound region a number of cities have instituted gardens in the last couple of years. Burien can learn specifically from what Seattle's Department of Development Planning has assessed pertaining to urban agriculture. The DPD has been highly successful at changing zoning regulations and other laws to promote urban agriculture.

Conclusion

The City of Burien was awarded \$200,000 from the HEAL grant to address public health concerns such as chronic disease and obesity. The grant "promotes community health through policy, systems and environment changes" (Babcock, 2011). Burien, along with other parts of King County is faced with higher rates of obesity along with lower rates of physical activity. Burien, along with other cities are assessing options that they can procure to meet the requirements of the grant as well as have a positive impact on community health. One element to the grant is improving access to healthier and affordable food. Community gardens are one solution that addresses access to healthy food and active living. It also provides a space where residents can participate in and build community. This demonstrates that people care about their health and their community. We recommend Burien adopt policy that encourages Burien residents to designate private-property spaces with the option of community gardens. We also recommend that the city provide information to interested stakeholders about a garden lease agreement and garden rules for those participating in community gardens. The agreements and rules should not be regulated by the city, instead it should be an open partnership made between the public, private, and other community organizations.



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Appendices

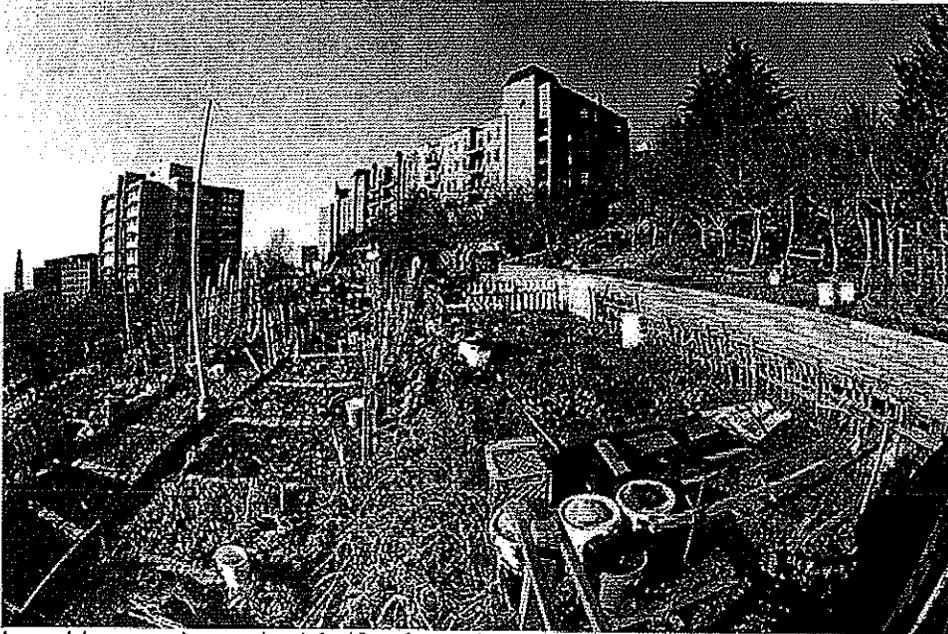
Photos of Case Study Community Gardens

Alleycat Acres Community Garden



<http://www.grist.org/article/food-seattles-new-urban-ag-models-are-sprouting-in-friendly-soil/PALL>

Seattle P-Patch Community Garden



<http://www.grist.org/article/food-seattles-new-urban-ag-models-are-sprouting-in-friendly-soil/P2>



Executive Summary

Supportive Policy Options for the Future of Community Gardens in Burien

A feasibility study by Maddie Beeders, Garrett Genach, Devin Myers, Brandon Pieterpol, & Molly Thornton

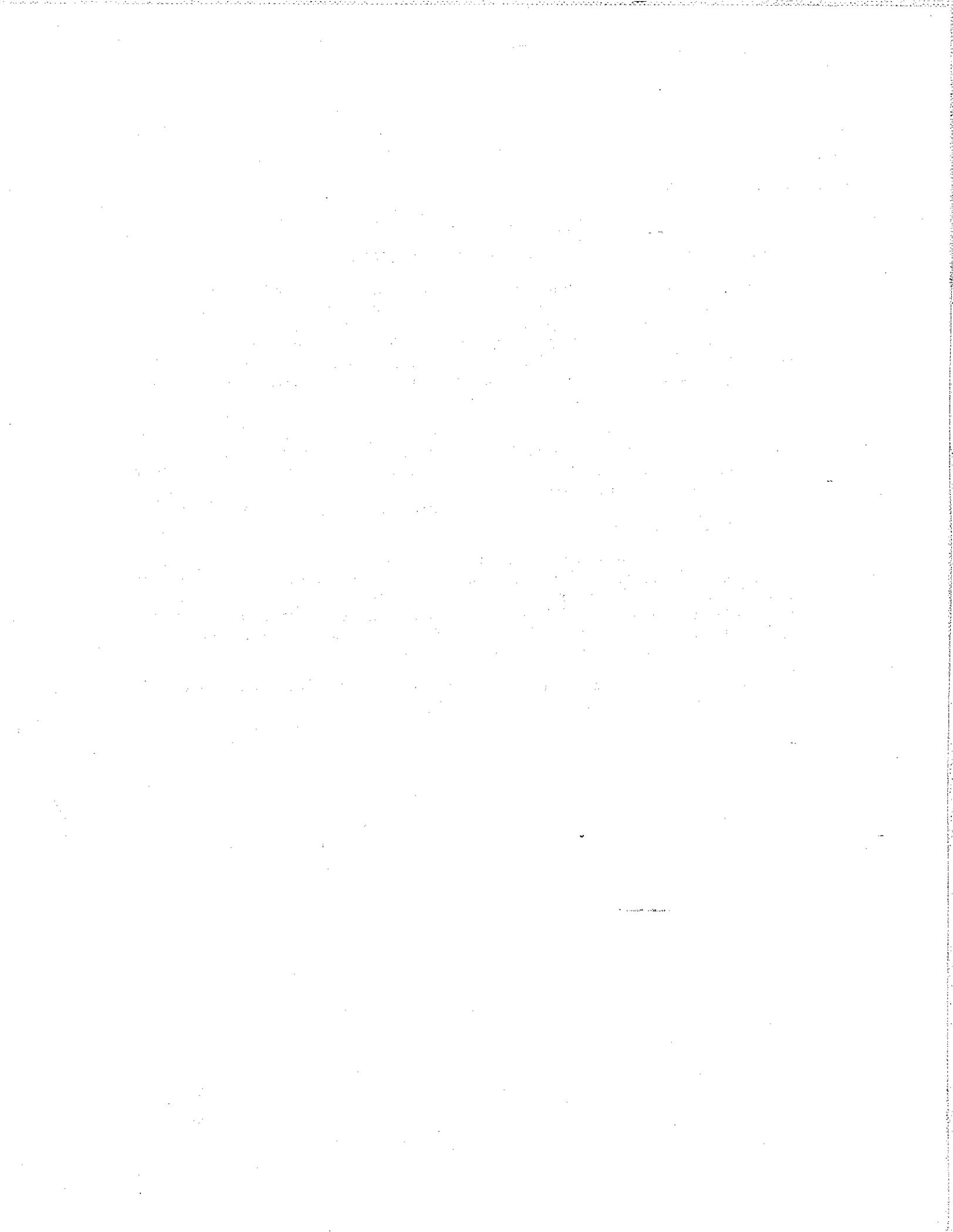
As part of UW's Community, Environment, & Planning course and in coordination with planners Scott Greenburg & Stephanie Jewett of the City of Burien, we have been tasked with determining the feasibility of additional community gardens in Burien. This topic came to light as part of the CPPW (Communities Putting Prevention to Work) & HEAL (Healthy Eating, Active Living) Grant, in which access to healthy food is of particular concern. This includes the abundance and sale of certain foods over others, and our approach takes the issue of food access closer to the source, discussing the *production* of this healthy food in communities where it is needed.

While one community garden already exists in Burien, its implementation process was faced with very few obstacles due to the fact that it was built on public, city-owned land. What we intend to do is provide the information required in order for the City of Burien to easily accommodate and facilitate future gardens on privately-owned parcels of land. To be clear, we do not intend to directly create a community garden on a pre-designated site. Instead, we wish to make the process as smooth as possible for any other individuals or groups to construct their own.

We have undertaken a primary research method of determining this feasibility, by getting in contact with various entities in the surrounding Seattle area that are already involved with urban agriculture. Additionally, we have consulted secondary sources that provide solutions for legislators and gardeners alike. Depending on location and legislature, differing obstacles tend to cause problems for these entities: whether it be zoning, ownership, physical maintenance, noise restrictions, produce sales, or a number of other issues; and we intend to minimize the difficulty these obstacles pose for the citizens of Burien.

The goal of this report is to provide recommendations for the City of Burien to incorporate policy and zoning changes to facilitate opportunities for community gardens.







Recommended 2012 Regional Appointments

Regional Policy Committee (RPC)

	Name	City	
Member	Pete Lewis	Auburn	S
Member	Dini Duclos	Federal Way	S
Member	John Marchione	Redmond	N
Member	Matt Larson	Snoqualmie	Sno
Alt	Denis Law	Renton	S
Alt	Will Hall	Shoreline	N

Regional Transit Committee (RTC)

	Name	City	
Member	Jeanne Burbidge	Federal Way	S
Member	Marcie Palmer	Renton	S
Member	Joan McGilton	Burien	S
Member	Dave Hill	Algona	SV
Member	Kimberly Allen	Redmond	N
Member	Bob Sternoff	Kirkland	N
Member	Chris Eggen	Shoreline	N
Member	Fred Butler	Issaquah	N
Alt	Noel Gerken	Maple Valley	S
Alt	Dennis Higgins	Kent	S
Alt	Conrad Lee	Bellevue	N
Alt	Tom Odell	Sammamish	N

Regional Water Quality Committee (RWQC)

	Name	City	
Member	Rich Zwicker	Renton	S
Member	Bill Pelozza	Auburn	S
Member	Doris McConnell	Shoreline	N
Member	Don Davidson	Bellevue	N
Alt	Craig Goodwin	Blk Diamond	SV
Alt	John Wright	Lk Forest Pk	N

PSRC Executive Board

	Name	City	
Member	Pete Lewis	Auburn	S
Member	Dave Hill	Algona	SV
Member	Bob Sternoff	Kirkland	N
Member	Will Ibershof	Duvall	Sno
Alt	Mia Gregerson	SeaTac	S
Alt	Marla Mhoon	Covington	S
Alt	John Marchione	Redmond	N
Alt	Don Gerend	Sammamish	N

PSRC Operations Committee

	Name	City	
Member	Pete Lewis	Auburn	S
Alt	Bob Sternoff	Kirkland	N

PSRC Growth Mgmt Policy Board (GMPB)

	Name	City	
Member	Terri Briere	Renton	S
Member	Bob Sternoff	Kirkland	N
Member	Hank Margeson	Redmond	N
Alt	Paul Mallary	Algona	SV
Alt	Erin Weaver	Maple Valley	S
Alt	Bernie Talmas	Woodinville	N

PSRC – Transportation Policy Board (TPB)

	Name	City	
Member	Jeanne Burbidge	Federal Way	S
Member	Dave Hill	Algona	SV
Member	Don Gerend	Sammamish	N
Alt	Rich Zwicker	Renton	S
Alt	Amy Walen	Kirkland	N
Alt	John Marchione	Redmond	N

PSRC– Econ Dev District Board (EDDB)

	Name	City	
Member	Dini Duclos	Federal Way	S
Member	Catherine Stanford	Lk Forest PK	N
Alt	Dennis Higgins	Kent	S
Alt	Bob Hensel	Kenmore	N

King County Growth Management Planning Council (GMPC)

	Name	City	
Member	Rebecca Olness	Blk Diamond	SV
Member	Terri Briere	Renton	S
Member	Layne Barnes	Maple Valley	S
Member	Bob Sternoff	Kirkland	N
Member	Chris Eggen	Shoreline	N
Member	Kimberly Allen	Redmond	N
Alt	Jamie Perry	Kent	S
Alt	Jeanne Burbidge	Federal Way	S
Alt	Amy Ockerlander	Duvall	Sno
Alt	Tom Odell	Sammamish	N

Regional Law, Safety and Justice (RLSJ)

	Name	City	
Member	Dana Ralph	Kent	S
Member	Verna Seal	Tukwila	S
Member	John Partridge	Auburn	S
Member	Gerard Cattin	Duvall	Sno
Member	Dave Asher	Kirkland	N
Member	John Stilin	Redmond	N

Joint Recommendations Committee for CDBG (JRC)

	Name	City	
Member	Pam Fernald	SeaTac	S
Member	Jerry Robison	Burien	S
Member	Ava Frisinger	Issaquah	N
Member	David Baker	Kenmore	N

Local Hazardous Waste Management Program/Management Coordination

	Name	City	
Member	David Baker	Kenmore	N

Board of Health (BOH)

	Name	City	
Member	Suzette Cooke	Kent	S
Member	Ava Frisinger	Issaquah	N
Alt	David Baker	Kenmore	N



Recommended 2012 Regional Appointments

enterpriseSeattle

	Name	City	
Member	Bob Sternoff	Kirkland	N
Member	Allan Van Ness	Kenmore	N
Member	Will Hall	Shoreline	N
Member	John James	Sammamish	N
Member	John Marchione	Redmond	N
Member	Rick Zwicker	Renton	S
Member	Dini Duclos	Federal Way	S
Member	Jamie Perry	Kent	S

Domestic Violence Initiative (DVI)

	Name	City	
Member	Greg Taylor	Renton	S
Member	Verna Seal	Tukwila	S
Member	Doris McConnell	Shoreline	N
Member	Amy Ockerlander	Duvall	Sno

South Central Action Area Caucus Group (SCAACG)

	Name	City	
Member	Craig Goodwin	Blk Diamond	SV
Member	Layne Barnes	Maple Valley	S

King County Flood Control District Advisory Committee (KCFCDAC)

	Name	City	
Member	Marla Mhoon	Covington	S
Member	Bill Thomas	Algona	SV
Member	Bob Lee	Lk Forest Pk	N
Member	Joan McBride	Kirkland	N
Alt	Linda Kochmar	Federal Way	S
Alt	Erin Weaver	Maple Valley	S
Alt	Glenn Rogers	Kenmore	N
Alt	Mike Cero	Mercer Is	N

Committee to End Homelessness (CEH)

	Name	City	
Member	Greg Taylor	Renton	S
Member	Doreen Marchione	Kirkland	N

Emergency Management Advisory Committee (EMAC)

	Name	City	
Member	TBD		
Member	Gail Harris	Shoreline	N
Member	Gerard Cattin	Duvall	Sno
Alt	Greg Taylor	Renton	S
Alt	Bill Thomas	Algona	SV
Alt	Penny Sweet	Kirkland	N

Radio Executive Policy Committee (REPC)

	Name	City	
Member	Clarke Brant	Normandy Pk	S
Member	Allan Van Ness	Kenmore	N

Solid Waste Advisory Committee (SWAC) Executive Appointment

	Name	City	
Member	Joan McGilton	Burien	S
Member	David Baker	Kenmore	N

Multi-Year Appointments that continue from 2011

King County Disability Board LEOFF1

	Name	City	
Member	Verna Seal	Tukwila	S

Mental Health and Drug Dependency Oversight Committee (MIDD)

	Name	City	
Member	Denis Higgins	Kent	S
Alt	TBD		

King County Emergency Medical Services (EMS) Advisory Task Force (2013 Levy)

	Name	City	
Member	Jim Haggerton	Tukwila	S
Member	Craig Goodwin	Black Diamond	S
Member	Ken Hearing	North Bend	Sno
Member	Tom Agnew	Bothell	N

Interagency Advisory Council to End Homelessness (IAC) – Staff Committee

	Name	City	
Member	Michael Hurch	Auburn	S
Member	Lorri Ericson	Des Moines	S
Member	Colleen Kelly	Redmond	N

King County Regional AFIS Advisory Committee (AFIS) – Staff Committee

	Name	City	
Member	David Cline	Tukwila	S

PSRC Regional Project Evaluation Committee (RPEC) – Staff Committee

	Name	City	
Member	Maiya Andrews	Burien	S
Member	Kirk McKinley	Shoreline	N
Member	Don Cairns	Redmond	N
Alt	Steve Clark	Maple Valley	S
Alt	Ray Steiger	Kirkland	N
Alt	Gary Costa	Issaquah	N

December 14, 2011

The Honorable Ross Hunter, Chairman
The Honorable Gary Alexander, Ranking Member
House Ways and Means Committee
315 John L. O'Brien Building
Olympia, WA 98504

The Honorable Ed Murray, Chairman
The Honorable Joseph Zarelli, Ranking Member
Senate Ways & Means Committee
303 John A. Cherberg Building
Olympia, WA 98504

RE: Annexation Tax Credit

Dear Senators Murray and Zarelli, and Representatives Hunter and Alexander:

We are writing to ask you to retain the Annexation Sales Tax Credit as it currently exists. As you know, many cities in the Puget Sound region have taken advantage of the Credit to annex unincorporated areas into city boundaries. The Legislature asked them to do this to help implement the state's Growth Management Act.

The cities we represent – including Auburn, Bellevue, Bothell, Burien, Kent, Kirkland, Lake Stevens, Marysville, and Renton – made the difficult decision to annex based on policies passed in Olympia designed to improve the safety, health, and welfare of citizens living in urban unincorporated county regions. By becoming city residents, people will see better police, fire and medical response times as well as other critical services. The total population of these cities who have annexed based on this partnership with the state now stands at close to 652,000 people.

Annexation is a complex and expensive undertaking. None of those annexed areas pay for themselves and the credit only closes the gap, it does not eliminate it. Despite this financial reality, these cities have worked hard to ensure they have the resources necessary to meet safety goals for all their citizens. Part of this planning included factoring in the state's Annexation Sales Tax Credit. This 10-year credit was integral in their decisions to move forward. Without the credit cities leaders could not and would not have moved forward with annexation.

HB 2146 would cut the Annexation Sales Tax Credit by 10 percent for each year of the 10-year credit, even to the cities included in this letter that have already undertaken or are in the final stages of annexations based on the promise of the full credit amount. We understand the difficult decisions we all must make to address the state's budget deficit. These cities have also

undertaken many cuts and efficiencies to make ends meet. Gutting this credit damages the long and productive partnership cities have had with the Legislature and the Governor as we have worked to implement state policies that benefit the people we all represent.

At its core, annexation is about better safety and service. With this substantial credit reduction, cities will be forced to consider laying-off safety personnel, conducting "rolling brown-outs" of fire stations, and reducing police presence as existing safety personnel are spread over wider service areas.

Safety is of paramount importance, but annexation has also been shown to improve educational services, create jobs, and provide better vital infrastructure to local governments. The annexation credit as it now exists is the single most effective tool for cities to reach these important goals for the state as cost-effectively as possible.

Cities agreed to provide better service to citizens in urban unincorporated areas through annexation. We, as Legislators, agreed as part of the deal that a temporary sales tax credit would be needed to make such annexations possible. Breaking this agreement after annexation has already begun does a disservice not only to cities that have committed to this policy, but to the people we all have sworn to serve and protect.

We will be working to retain the full annexation credit, and respectfully request you push for the full credit as budget negotiations move forward.

Sincerely,



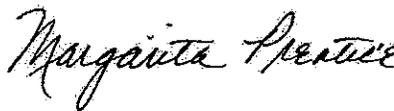
Rep. Derek Stanford, 1st District



Sen. Rosemary McAuliffe, 1st District



Rep. Luis Moscoso, 1st District



Sen. Margarita Prentice, 11th District



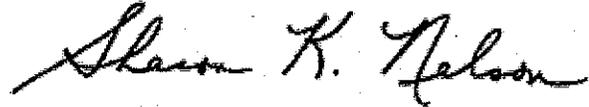
Rep. Cindy Ryu, 32nd District



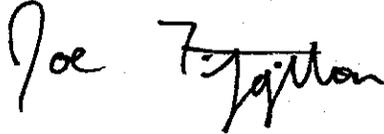
Rep. Ruth Kagi, 32nd District



Rep. Tina Orwall, 33rd District



Sen. Sharon Nelson, 34th District



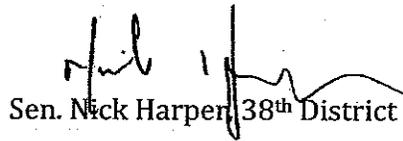
Rep. Joe Fitzgibbon, 34th District



Rep. Sharon Tomiko Santos, 37th District



Rep. Eric Pettigrew, 37th District



Sen. Nick Harper, 38th District



Rep. John McCoy, 38th District



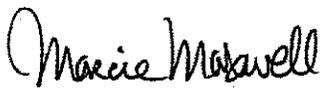
Rep. Mike Sells, 38th District



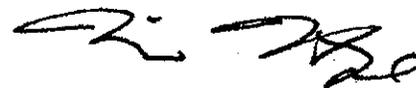
Rep. Judy Clibborn, 41st District



Sen. Steve Litzow, 41st District



Rep. Marcie Maxwell, 41st District



Rep. Mike Hope, 44th District



Rep. Larry Springer, 45th District



Sen. Andy Hill, 45th District



Rep. Roger Goodman, 45th District



Sen. Rodney Tom, 48th District

Sen. Ed Murray, Rep. Ross Hunter and Ranking Members

December 14, 2011

Page 4



Rep. Pat Sullivan, 47th District Rep.



Rep. Jay Rodne, 5th District

cc: Speaker Frank Chopp
House Republican Leader Richard DeBolt
House Ways & Means Committee

Senate Majority Leader Lisa Brown
Senate Minority Leader Mike Hewitt
Senate Ways & Means Committee



Air Mail

Published by the Port of Seattle for the neighbors of Seattle-Tacoma International Airport

Winter 2012

Cleanup to be next step in preparing site for new use



In this issue

- ➔ Lora Lake site
- ➔ Part 150 update
- ➔ Century Agenda
- ➔ Support for learning



In early 2012, the Port of Seattle expects to submit to Washington State Department of Ecology (DOE) a draft report that is the next step leading to the cleanup of contaminants at the former Lora Lake Apartments site, 15001 Des Moines Memorial Drive, Burien.

The port purchased this property in 1998 as part of Sea-Tac Airport's third runway project. A portion of the apartment complex was located within the third runway's protection zone, and the port was required to demolish all structures within this zone. Environmental testing revealed contamination from industrial uses that occurred before the apartments were built. Cleanup is required by state law and necessary for any future development.

The port and DOE have been working together since 2009 under an Agreed Order that is guiding the steps leading to the cleanup. A blueprint for identifying the nature and extent of contamination and an assessment of cleanup methods are contained in a document called the Remedial Investigation and Feasibility Study (RI/FS) Work Plan. The public had an opportunity to comment on the work plan in 2010.

Since then, the port conducted an investigation of contaminated soils, sediment and groundwater, and currently is assessing alternative approaches to cleanup. The port is scheduled to submit the draft RI/FS Report to DOE in January 2012 for review. Once the port and DOE discuss the report, it will be issued

Noise study results expected in 2012

As we move into 2012, the Port of Seattle continues its in-depth analysis of the Part 150 draft recommendations for mitigating aircraft noise in the updated noise remedy area around Sea-Tac Airport.

The draft recommendations are the result of the Federal Aviation Administration Part 150 Noise and Land-Use Compatibility Study process that began in 2010. The Port of Seattle recently released a preliminary list of draft recommendations that prompted discussion by airlines and the community. Interest in a recommendation for an aircraft engine testing run-up enclosure prompted the port to embark on additional review of possible locations on the airfield, costs and operational impacts.

Plans are to release a draft report in 2012. For details, visit www.airportsites.net/SEA-Part150/ or call (206) 787-4944. To provide feedback, call (206) 787-5393.

for public review before it is finalized. Information in the report will be used to develop a Cleanup Action Plan that specifies the cleanup actions chosen from among the alternatives. That plan also will be available for public review before it is finalized.

With cleanup expected to begin in 2013, the site is slated for subsequent redevelopment. The City of Burien has expressed interest in the property as part of a future auto dealership mall. Redevelopment discussions by the city and port are currently under way.

For details on this project visit <https://fortress.wa.gov/ecy/gsp/Sitepage.aspx?csid=2008>.



Air Mail is a publication about Seattle-Tacoma International Airport for neighbors and others interested in airport activities. If you have questions or comments about the publication, call Public Affairs, (206) 787-4604, write to Editor, Air Mail/Public Affairs, Seattle-Tacoma International Airport, P.O. Box 88727, Seattle, WA 98188-0727, or send email to stlaurent.m@portseattle.org.

Following are ways to get details on programs or projects:

Acquisition and Relocation Office:
(206) 787-5915

Noise Information Line:
(206) 787-5393 or 1-800-826-1147

Sea-Tac Airport Web Site:
www.portseattle.org/seatac/

WebTrak (flight and noise data):
www.32webtrak-lochard.com/WebTrak/sea/

A year of celebration, an agenda for tomorrow

The Port of Seattle capped off its centennial year, 2011, with a list of goals for the future, the result of a strategic planning effort called the "Century Agenda" that began in 2008. The Century Agenda is a comprehensive vision for the next quarter century of the port's business and operations.

Early in 2011, the Port Commission formed the Century Agenda Committee to identify goals and begin planning around topics ranging from creating economic opportunity to achieving community values to moving cargo and people. During much of 2011, the Commission hosted monthly public roundtable discussions on strategic issues with experts on each topic area. At the final roundtable in late 2011, commissioners and panelists discussed funding the port's strategic goals. For videos and summaries of the Century Agenda roundtables, visit the Commission section on the port website at www.portseattle.org.

Next, the Century Agenda Committee plans to review goals from all previous panels, share a draft Century Agenda with the public in early 2012, and adopt a final plan in mid-2012.

Airport internships offer unique experiences for area students

The Port of Seattle offers valuable work experience to high school students through various paid summer internships at Sea-Tac Airport every year.

For 2011, the port hired five students.

They included Tony Truong, Aviation High School, who worked in data collection and analysis for the airport's Maintenance Department; Alexis McGinnis, Liberty High School, who worked for the Operations Department on projects connected to the 2012 opening of the airport's Consolidated Rental Car facility; Thomas Ryan, Ballard High School, who worked with the training staff in Operations, developing a tracking matrix and assisting employees with training modules; Miski Ugas, Health Sciences & Human Services (Evergreen) High School, who interned with the airport Emergency Preparedness Department; and Marissa Dyrdaahl, Kentwood High School, who worked in the airport's ID Badging Office, Aviation Security.

In 2012, the port expects to offer even more high school internships. To get details about the Intern Program, go to *Jobs* on the port's website at www.portseattle.org. New high school internship openings usually are posted in the spring. There also are year-round opportunities for college students.

SPEAKING OF THE WEBSITE

Finding information about Sea-Tac Airport and the Port of Seattle is faster and easier on the port's new website at www.portseattle.org, re-engineered to provide intuitive navigation, streamlined design and a better overall web experience.

The upgraded site features up-to-the minute flight information, a vivid new photo gallery, instant drop-down menus, and slide shows and videos. Details about favorite topics such as the airport, cruise activities, marinas, parks and attractions are consolidated under one easy-to-find tab called *Travel and Recreation*.

Port authorizes funds for quieter college classrooms

The Port of Seattle Commission recently authorized funds to pay for sound insulating the 14th classroom building at Highline Community College. The project will cost more than \$2 million and is scheduled to be complete by 2013.

The port began sound insulating college buildings through an agreement with the college in 1994, when the port committed to insulate up to 22 classroom buildings using aircraft noise mitigation funds. The college is responsible for design and construction, subject to approval by the Federal Aviation Administration, which makes 80 percent of the funding available, and the port, which funds 20 percent.

A total of \$8.7 million has been dedicated to this program since it began. No port property tax levy funding is associated with the college insulation. The college insulates about one building per year. Major elements include insulated windows and acoustical roof treatments.

Stewart to lead airport partnership efforts



The Port of Seattle's Aviation Division has named Linda Stewart its director of Community Partnerships (formerly Community Development), replacing Diane Summerhays who retired recently after working with Sea-Tac Airport communities for more than two decades.

Stewart previously was program manager, Neighborhoods and Special Projects, City of Bellingham. She managed high-profile community projects and land-use planning efforts, facilitated community advisory boards and commissions, and was a member of the Bellingham Economic Development Action Team. She worked with Thurston County as a community program coordinator and with King County Community Services Division.

She is no stranger to the airport area. During her tenure with King County, Stewart managed community-based programs and services, collaborated with south County organizations and nonprofits, and resided in the Boulevard Park neighborhood.

Her other involvement included Highline Public Schools Board of Directors, Whatcom Dispute Resolution Center and Whatcom Coalition for Healthy Communities.

Learn the skills of customer service

Airport Jobs employment center at Sea-Tac Airport is offering SuperHost® Customer Service Training that teaches skills, techniques and best practices of front-line customer service professionalism.

Graduates of this three-day course earn an industry-recognized credential and transferable college credit. The next class starts in late January in Room MT6447M on the mezzanine level at Sea-Tac Airport. To register, contact Mary Turla at (206) 787-7504 or turla.m@portseattle.org.

Port of Seattle Commissioners

Tom Albro
Bill Bryant
John Creighton
Rob Holland
Gael Tarleton

Chief Executive Officer

Tay Yoshitani

Airport Managing Director

Mark M. Reis

Aviation Community Partnerships

Director, Linda Stewart

Public Affairs

Director, Patricia Akiyama

Port
of Seattle

The Port of Seattle operates under the State of Washington's Public Disclosure Act. To obtain public records, please email specific requests to public-disclosure@portseattle.org, call (206) 787-3204 or fax (206) 787-3205.

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Public Affairs
Seattle-Tacoma International Airport
P.O. Box 68727
Seattle, WA 98168-0727



Burien

Washington, USA

Summary of Permits Issued

Start Date: 12/01/2011

End Date: 12/31/2011

TypePermit	Count	Valuation
Building	19	\$3,855,123.69
Demolition	6	
Electrical	81	\$148,722.00
Fire Protection	9	\$104,211.00
Mechanical	26	\$32,200.00
Plumbing	15	\$32,655.00
Right of Way	32	
Sign	9	\$10,896.00
Totals :	197	\$4,183,807.69



Burien

Washington, USA

Summary of Permit Applications Received – December 2011

Type Permit	Count	Valuation
Building	15	\$ 371,737
Demolition	6	
Electrical	80	\$ 66,372
Fire Protection	14	\$ 201,831
Mechanical	26	\$ 22,000
Plumbing	16	\$ 35,655
Right of Way	36	
Sign	13	\$ 29,396
Totals :	206	\$ 727,191



Burien

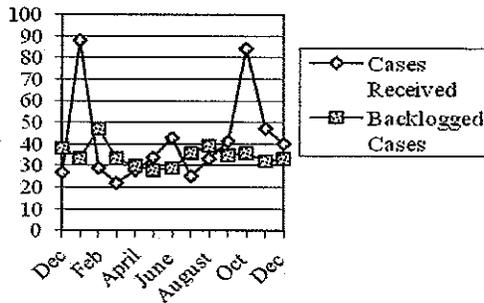
Washington, USA

CITY OF BURIEN MEMORANDUM

DATE: January 3, 2012
TO: Mike Martin, City Manager
FROM: Cynthia Schaff, Paralegal
RE: December 2011 Citizen Action Report

This report reflects the caseload for December and includes all backlog cases open as of December 31, 2011. As of that date, there were 60 open cases. 33 of the open cases are more than five weeks old and are considered backlog. There were 40 cases opened during the month of December; 20 cases initiated by staff/police, and 20 cases initiated by residents.

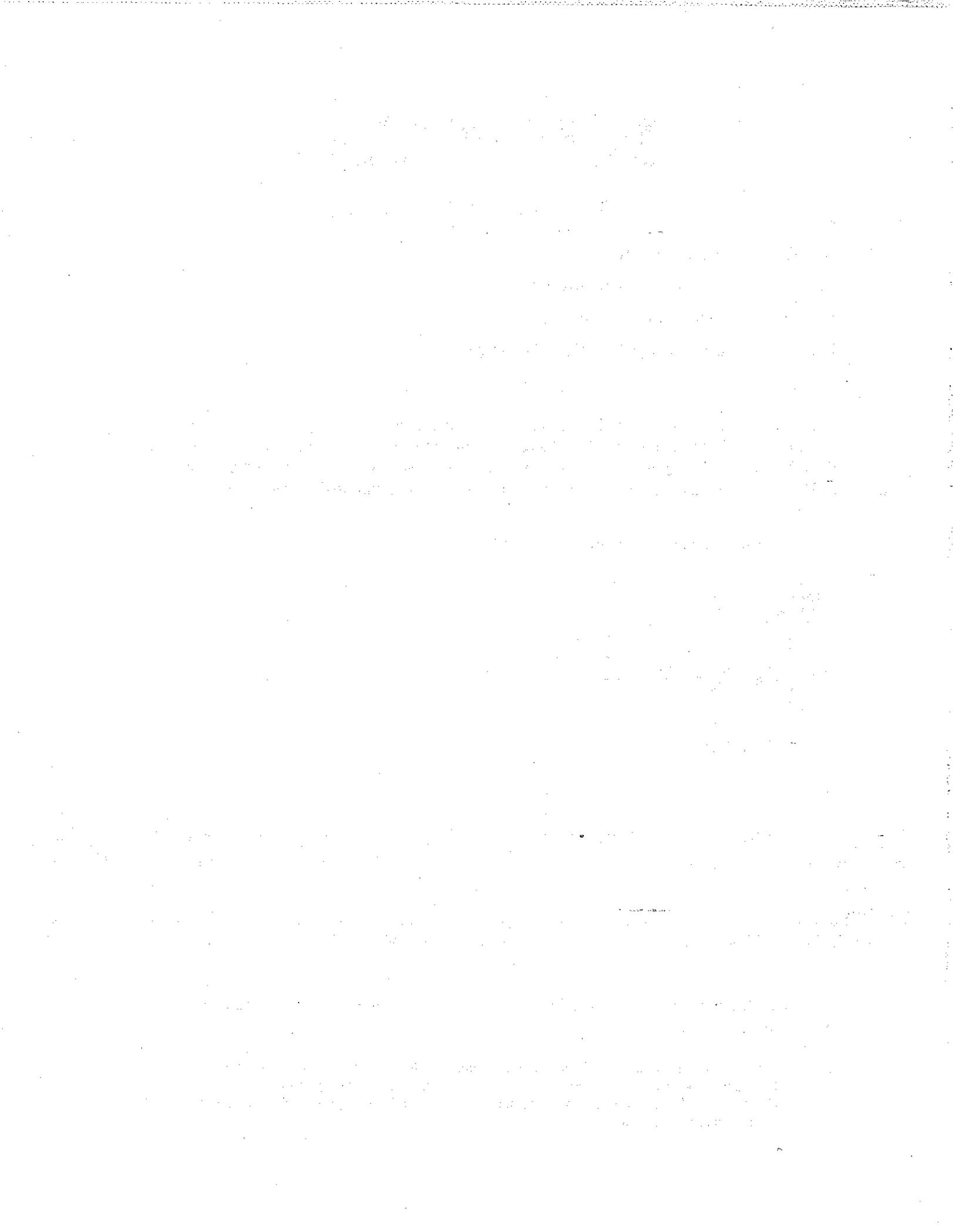
Citizen Action Case Status



	Dec	Jan '11	Feb	March	April	May	June	July	August	Sept	Oct	Nov	Dec
Cases Received	27	88	29	22	28	34	43	25	33	41	84	47	40
Backlogged Cases	38	33	47	33	30	28	29	36	39	35	36	32	33
Total Open Cases	55	74	72	47	48	50	66	59	66	62	72	71	60
% of Backlog	69%	45%	65%	70%	63%	56%	44%	61%	59%	56%	50%	45%	55%

As usual, please let me know if you have any questions or suggestions for additional improvements to this report.

Cc: Scott Greenberg, Community Development Director Michael Lafreniere, Parks Director
 Jim Bibby, Code Compliance Officer Jan Vogee, Building Official
 Henry McLauchlan, Administrative Sergeant Maiya Andrews, Public Works Director
 Craig Knutson, City Attorney





Monthly Report to the City Manager

Citizen Action Request Case Status

Report Date: 01/03/2012

Days Old	Department	CAR #	Date Received	Nature of Request	Complaint Information	Last Action	Date	Status
631	Building	CAR-10-0132	04/12/2010	Building	10826 ROSEBERG AV S Building, Hernandez	Other - See Notes	07/20/2011	Open
631	Code Enforcement	CAR-10-0161	04/12/2010	Nuisance	12663 16TH AV S Nuisance-Johnson	Phone Call	03/14/2011	Open
624	Code Enforcement	CAR-10-0191	04/19/2010	Nuisance	1221 S 116TH ST Nuisance-Glen	Enforcement Letter 2	10/31/2011	Open
623	Public Works	CAR-10-0208	04/20/2010	Planning / Zoning	804 SW 122ND ST Zoning-Puloka-Zone 1	Enforcement Letter 1	12/22/2011	Open
433	Planning	CAR-10-0520	10/27/2010	Illegal Dumping	1240 SW 124TH ST Illegal Dumping - Ventoza - Zone 1	Enforcement Letter 2	11/02/2011	Open
245	Code Enforcement	CAR-11-0174	05/03/2011	Nuisance	12411 DES MOINES MEMORIAL DR S Nuisance, Garbage, Vehicles-Souffront-Zone 2	NOV Issued	12/09/2011	Open
229	Fire Department	CAR-11-0206	05/19/2011	Fire Department Issue	1223 SW 128TH ST Fire Dept.-Amber Glo-Zone 1	Case Received	05/19/2011	Open
208	Code Enforcement	CAR-11-0213	06/09/2011	Nuisance	18460 4TH AV S Nuisance-Martinez-Zone 4	Case Received	06/09/2011	Open
203	Code Enforcement	CAR-11-0221	06/14/2011	ROW Issue	16234 15TH AV SW ROW Alley/Business License-Hansel Const.-Zone 3	Enforcement Letter 2	10/13/2011	Open
203	Code Enforcement	CAR-11-0287	06/14/2011	Nuisance	318 SW 126TH ST Nuisance-Beltran-Zone 1	Enforcement Letter 1	11/16/2011	Open
195	Fire Department							

Days Old	Department	CAR #	Date Received	Nature of Request	Complaint Information	Last Action	Date	Status
		CAR-11-0233	06/22/2011	Fire Department Issue	Fire Alarm System-HiPointer Condos-Zone 4	Case Received	06/22/2011	Open
173	Code Enforcement	CAR-11-0266	07/14/2011	Sign Violation	910 SW 152ND ST Sign Violation, No B/L-B-Town Burgers-Zone 3	Enforcement Letter 2		
172	Code Enforcement	CAR-11-0269	07/15/2011	Nuisance	11860 12TH AV S Vegetation/Trash/Vacant-Fannie Mae-Zone 1	Case Received	11/09/2011 07/15/2011	Open Open
146	Building	CAR-11-0304	08/10/2011	Other	13825 DES MOINES MEMORIAL DR S Grading Permit-Haberzettl-Zone 4	Other - See Notes	12/05/2011	Open
145	Code Enforcement	CAR-11-0373	08/11/2011	Fire Department Issue	Fire Dept-Curiosity Corner-Zone 1	Case Received	10/01/2011	Open
138	Public Works	CAR-11-0306	08/18/2011	ROW Issue	2113 SW 174TH ST ROW Parking-Taylor-Zone3	Case Received	08/18/2011	Open
133	Code Enforcement	CAR-11-0305	08/23/2011	Nuisance	11037 26TH AV S Nuisance,Vacant-Wood-Zone 2	Case Received	08/24/2011	Open
127	Code Enforcement	CAR-11-0318	08/29/2011	Nuisance	14230 8TH AV S Nuisance-Singh-Zone 4	Case Received	08/29/2011	Open
123	Planning	CAR-11-0323	09/02/2011	Planning / Zoning	15310 1ST AV S ADU - Dragon Pearl - Zone 4	Case Received	09/01/2011	Open
106	Building	CAR-11-0347	09/19/2011	Building	224 S 118TH CT Building Permit - Bui - Zone 2	Phone Call	10/28/2011	Open
81	Code Enforcement	CAR-11-0393	10/14/2011	Business License	16631 16TH AV SW Business License-Custom Child Care-Zone 3	Case Received	10/14/2011	Open
81	Building	CAR-11-0399	10/14/2011	Critical Area Concerns	16705 MAPLEWILD AV SW Critical Area House-Johnson/Justin-Zone 3	Case Received	10/14/2011	Open
81	Fire Department				12311 AMBAUM BL SW			

Days Old	Department	CAR #	Date Received	Nature of Request	Complaint Information	Last Action	Date	Status
		CAR-11-0536	10/14/2011	Fire Department Issue	Manuel Fire Alarm-View Ridge Park Villa Apts-Zone 1	Phone Call	12/14/2011	Open
78	Code Enforcement	CAR-11-0439	10/17/2011	Business License	12000 DES MOINES MEMORIAL DR S Business License-The Pizza Source-Zone 2	Case Received	10/27/2011	Open
69	Code Enforcement	CAR-11-0428	10/26/2011	Housing Concerns	638 S 159TH ST Housing, Electrical-Boteler-Zone 4	Phone Call	11/16/2011	Open
68	Code Enforcement	CAR-11-0441	10/27/2011	Business License	11632 24TH AV S Business License-Umbrella Concrete-Zone 2	Case Received	10/27/2011	Open
58	Code Enforcement	CAR-11-0458	11/06/2011	Business License	15621 8TH AV SW Business License-Able Hauling-Zone 3	Case Received	11/06/2011	Open
56	Code Enforcement	CAR-11-0481	11/08/2011	Business License	812 S 132ND ST Business License-Barrier Const.-Zone 2	Case Received	11/08/2011	Open
54	Code Enforcement	CAR-11-0486	11/10/2011	Nuisance	16331 MAPLEWILD AV SW Nuisance-Golka-Zone 3	Case Received	11/10/2011	Open
51	Code Enforcement	CAR-11-0496	11/13/2011	Business License	209 SW 152ND ST Business License-La Preciosa Boutique-Zone 3	Case Received	11/13/2011	Open
47	Code Enforcement	CAR-11-0501	11/17/2011	Business License	1841 S 120TH ST Business License-El Flamigo Restaurant-Zone 2	Case Received	11/17/2011	Open
47	Code Enforcement	CAR-11-0506	11/17/2011	Nuisance	451 SW 142ND ST Nuisance, Junk Vehicles & Boats-Goebel-Zone 1	Phone Call	12/22/2011	Open
43	Code Enforcement	CAR-11-0539	11/21/2011	Business License	16866 3RD AV S Business License-Four Season Janitorial-Zone 4	Case Received	11/21/2011	Open
36	Code Enforcement	CAR-11-0515	11/28/2011	Nuisance	13032 AMBAUM BL SW Nuisance- HSBC Bank - Zone 1	Phone Call	12/21/2011	Open

Days Old	Department	CAR #	Date Received	Nature of Request	Complaint Information	Last Action	Date	Status
33	Code Enforcement	CAR-11-0516	12/01/2011	Nuisance	12241 5TH AV S Nuisance debris/vehicles-Poelzer-Zone 2	Case Received	12/01/2011	Open
33	Code Enforcement	CAR-11-0519	12/01/2011	Nuisance	16640 14TH AV SW Nuisance-Heino-Zone 3	Other - See Notes	12/05/2011	Open
29	Building	CAR-11-0521	12/05/2011	Building	267 SW 116TH ST Building/Nuisance-Ramirez-Zone 1	Case Received	12/05/2011	Open
28	Code Enforcement	CAR-11-0523	12/06/2011	Illegal Dumping	18017 DES MOINES MEMORIAL DR S Illegal Dumping-Grayhawk-Zone 4	Case Received	12/06/2011	Open
27	Code Enforcement	CAR-11-0526	12/07/2011	Housing Concerns	12230 AMBAUM BL SW Housing/Graffiti-Ambaum Homes-Zone 2	Other - See Notes	12/16/2011	Open
27	Code Enforcement	CAR-11-0529	12/07/2011	Nuisance	13443 4TH AV S Nuisance Debris-Herbruger-Zone 2	Case Received	12/08/2011	Open
26	Code Enforcement	CAR-11-0528	12/08/2011	Business License	12427 16TH AV S Business License-Fireplace & Chimney-Zone 2	Case Received	12/08/2011	Open
22	Code Enforcement	CAR-11-0525	12/12/2011	Housing Concerns	12308 AMBAUM BL SW Nuisance/Graffiti-Ambaum Homes-Zone 1	Phone Call	12/15/2011	Open
22	Code Enforcement	CAR-11-0533	12/12/2011	Nuisance	Nuisance Vehicles/Dog Licenses-McCall-Zone 2	Case Received	12/14/2011	Open
19	Code Enforcement	CAR-11-0537	12/15/2011	Fire Department Issue	1050 SW 151ST ST Fire Alarm System-Royal Arms Apts-Zone3	Case Received	12/15/2011	Open
15	Code Enforcement	CAR-11-0540	12/19/2011	Business License	2728 S 125TH PL Dog Leash-B/L-Nuisance-Endeshaw-Zone 2	Case Received	12/19/2011	Open
14	Code Enforcement	CAR-11-0541	12/20/2011	Nuisance	12803 AMBAUM BL SW Nuisance-Fiesta Del Mar-Zone 1	Case Received	12/20/2011	Open

Days Old	Department	CAR #	Date Received	Nature of Request	Complaint Information	Last Action	Date	Status
14	Code Enforcement	CAR-11-0542	12/20/2011	Sign Violation	15304 AMBAUM BL SW Abandoned Sign-Taste of Fuji-Zone 3	Case Received	12/20/2011	Open
14	Code Enforcement	CAR-11-0543	12/20/2011	Sign Violation	15220 AMBAUM BL SW Sign Permit-B/L- Pho Liu-Zone 3	Case Received	12/20/2011	Open
14	Code Enforcement	CAR-11-0544	12/20/2011	Sign Violation	127 SW 153RD ST Abandoned Sign-El Trapiche-Zone 3	Case Received	12/20/2011	Open
14	Code Enforcement	CAR-11-0546	12/20/2011	Sign Violation	137 SW 160TH ST Abandoned Sign-King Buffet-Zone 3	Case Received	12/20/2011	Open
14	Code Enforcement	CAR-11-0547	12/20/2011	Nuisance	12257 2ND AV S Nuisance, Garbage-McJohn-Zone 2	Case Received	12/20/2011	Open
13	Code Enforcement	CAR-11-0552	12/21/2011	Nuisance	11813 ROSEBERG AV S Nuisance Junk Vehicles-Teem-Zone 2	Case Received	12/22/2011	Open
12	Code Enforcement	CAR-11-0548	12/22/2011	Sign Violation	236 SW 153RD ST Abandon Sign-Corona's-Zone 3	Case Received	12/22/2011	Open
12	Code Enforcement	CAR-11-0549	12/22/2011	Sign Violation	148 SW 153RD ST Abandoned sign-Impexsa-Zone 3	Case Received	12/22/2011	Open
12	Code Enforcement	CAR-11-0550	12/22/2011	Sign Violation	13409 AMBAUM BL SW Abandoned sign & Graffiti-Donatelli's-Zone 1	Case Received	12/22/2011	Open
12	Code Enforcement	CAR-11-0551	12/22/2011	Sign Violation	110 SW 148TH ST Abandoned Sign-Piranha Joe's-Zone 3	Case Received	12/22/2011	Open
7	Code Enforcement	CAR-11-0554	12/27/2011	Nuisance	2312 S 128TH ST Nuisance property-Coston-Zone 2	Case Received	12/28/2011	Open

Days Old	Department	CAR #	Date Received	Nature of Request	Complaint Information	Last Action	Date	Status
7	Code Enforcement	CAR-11-0557	12/27/2011	Building	16505 4TH AV S Building Permit-Sullivan-Zone 4	Case Received	12/27/2011	Open
5	Code Enforcement	CAR-11-0555	12/29/2011	Housing Concerns	13018 1ST AV S Housing, No SCL-Colarusso-Zone 2	Case Received		
5	Code Enforcement	CAR-11-0556	12/29/2011	Nuisance	937 SW 130TH ST Nuisance, vehicles-Nieto-Zone 1	Case Received	12/29/2011 12/29/2011	Open Open

WASHINGTON STATE BOUNDARY REVIEW BOARD FOR KING COUNTY

MEETING NOTICE

**FILE NO. 2332: CITY OF BURIEN NOTICE OF INTENTION: NORTH
HIGHLINE "Y" AREA ANNEXATION**

The Washington State Boundary Review Board will meet on **Monday January 23, 2012 at 7:00 PM** to undertake discussion and deliberation to come to a decision concerning the City of Burien's proposal to annex the North Highline "Y" Area.

The meeting will take place at **Cascade Middle School located at 11212 10th Avenue SW, Seattle, WA 98146.**

The Board welcomes the public to come to observe the decision-making process.

Please note, however, that the Board has completed the public hearing in this matter so no further public testimony can be received.

For more information please contact Lenora Blauman, Executive Secretary, at 206-296-6800.

Thank you for your interest in this matter.